

NEEDHAM PLANNING BOARD

Tuesday, May 14, 2024

7:00 p.m.

Charles River Room

Public Services Administration Building, 500 Dedham Avenue

AND

Virtual Meeting using Zoom

Meeting ID: **880 4672 5264**

(Instructions for accessing below)

To view and participate in this virtual meeting on your phone, download the “Zoom Cloud Meetings” app in any app store or at www.zoom.us. At the above date and time, click on “Join a Meeting” and enter the following Meeting ID: **880 4672 5264**

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Or to Listen by Telephone: Dial (for higher quality, dial a number based on your current location):

US: +1 312 626 6799 or +1 646 558 8656 or +1 301 715 8592 or +1 346 248 7799 or +1 669 900 9128 or +1 253 215 8782 Then enter ID: **880 4672 5264**

Direct Link to meeting: <https://us02web.zoom.us/j/88046725264>

1. Public Hearing:

7:00 p.m. Amendment to Major Project Site Plan Special Permit No. 2007-10: Beth Israel Deaconess Hospital-Needham, Inc., 148 Chestnut Street, Needham, MA, Petitioner (Property is located at 148 Chestnut Street, Needham, MA 02492). Regarding request to construct a temporary addition to the Hospital at the former emergency room entrance on Lincoln Street to house medical imaging services during the renovation of the nuclear medicine suite.

2. Decision: Amendment to Major Project Site Plan Special Permit No. 2001-02: Finitumus Associates Limited Partnership c/o Petrini Corporation, 187 Rosemary Street, Needham, MA, Petitioner. (Property located at 464 Hillside Avenue, Needham, Massachusetts). Regarding request to convert approximately 815 square feet of general office space to medical office.

3. Public Hearing:

7:45 p.m. Major Project Site Plan Special Permit No. 2004-01: Town of Needham, 1471 Highland Avenue, Needham, MA, Petitioner. (Property located at 609 Webster Street, Needham, Massachusetts). Regarding request to renovate 4 existing tennis courts, add 4 new tennis courts, install stormwater management improvements, ADA accessible walkways, and landscape improvements. *Note: This hearing has been continued from the Planning Board meetings of March 19, 2024, April 2, 2024 and April 24, 2024, and will be further continued to June 4, 2024.*

4. ANR Plan – Haven Development, LLC, Petitioner, (Property located at 103 Lawton Road and 133 South Street, Needham, MA).

5. Request to extend Belle Lane Subdivision Tripartite Agreement.

6. Appointment to Climate Action Committee.

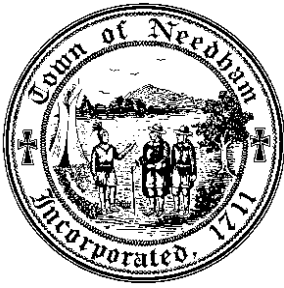
7. Minutes.

8. Summer Schedule.

9. Report from Planning Director and Board members.

10. Correspondence.

(Items for which a specific time has not been assigned may be taken out of order.)



PLANNING & COMMUNITY DEVELOPMENT
PLANNING DIVISION

LEGAL NOTICE
Planning Board
TOWN OF NEEDHAM
NOTICE OF HEARING

In accordance with the provisions of M.G.L., Chapter 40A, S.11 and the Needham Zoning By-Laws, Sections 7.4 and 1.4.6, the Needham Planning Board will hold a public hearing on **Tuesday, May 14, 2024** at 7:00 p.m. in the Charles River Room of the Public Services Administration Building, 500 Dedham Avenue, Needham, Massachusetts, regarding the application of Beth Israel Deaconess Hospital-Needham, Inc., 148 Chestnut Street, Needham, MA for a Special Permit Amendment under Site Plan Review, Section 7.4 of the Needham Zoning By-Law, Article II of the Planning Board Rules and Section 4.2 of Major Project Site Plan Special Permit No. 2007-10, dated November 13, 2007, subsequently amended by decisions dated July 28, 2009, July 12, 2011, September 20, 2011, December 4, 2012, October 24, 2017, March 5, 2019 and May 20, 2020.

The subject property is located at 148 Chestnut Street, Needham, MA 02492. The property is shown on Assessors Plan No. 47 as Parcel 55 containing 193,354 sq. ft. and is found in the Medical Overlay Zoning District. The requested Major Project Site Plan Special Permit, would, if granted, permit the Petitioner to construct a temporary addition to the Hospital at the former emergency room entrance on Lincoln Street to house medical imaging services during the renovation of the nuclear medicine suite. It is anticipated that the structure will remain for approximately six months. The proposal includes the following elements, to take place while the nuclear medical suite within the Hospital is being renovated: (1) Temporary removal of the existing canopy; (2) Installation of a medical imaging trailer in the circular driveway. The closest point of the proposed temporary trailer to the Lincoln Street property line is approximately twelve (12) feet; (3) Construction of a temporary covered corridor or walkway connecting the trailer to the hospital building; (4) Improvements to the landscaping in the area of the trailer and entrance; (5) Once the renovations to the nuclear medicine suite within the Hospital are complete, removal of the trailer and temporary covered corridor, restoration of the current canopy at the entrance to the building, and restoration of the landscaping as shown on the drawings submitted will be completed.

In accordance with the Zoning By-Law, Section 7.4, Article II of the Planning Board Rules and Section 4.2 of Major Project Site Plan Special Permit No. 2007-10, dated November 13, 2007, as amended, a Special Permit for Further Site Plan Review of a Major Project is required. In accordance with the Zoning By-Law, Section 1.4.6, a Special Permit is required for the structural alteration, enlargement and/or reconstruction of a non-conforming structure.

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Direct Link to meeting: <https://us02web.zoom.us/j/88046725264>

The application may be viewed at this link: <https://www.needhamma.gov/Archive.aspx?AMID=146&Type=&ADID=> . Interested persons are encouraged to attend the public hearing and make their views known to the Planning Board. This legal notice is also posted on the Massachusetts Newspaper Publishers Association's (MNPA) website at (<http://masspublicnotices.org/>).

NEEDHAM PLANNING BOARD

Needham Hometown Weekly: April 25, 2024 and May 2, 2024.

Beth Israel Lahey Health 
Beth Israel Deaconess Hospital
Needham

Beth Israel Deaconess Hospital – Needham
148 Chestnut St.
Needham, MA 02492

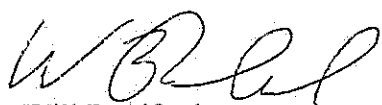
April 8, 2024

To Whom It May Concern,

BID-Needham authorizes Evans Huber of Huber Legal Counsel LLC to sign Needham Planning Board application forms and official documentation on behalf of the hospital.

Please contact me with any questions.

Thank you,



Will Bradford
Director of Finance
413-949-0304

4/8/24

HUBER LEGAL COUNSEL, LLC
275 GROVE STREET, SUITE 2-400
NEWTON, MA 02466

April 11, 2024

Via Electronic Mail and Hand Delivery

Members of the
Needham Planning Board

And

Lee Newman
Director of Planning and Community Development
Public Services Administration Building
500 Dedham Ave
Needham, MA 02492

Re: Beth Israel Deaconess Hospital - Needham
Application for Further Site Plan Review and Amendment to Special Permit

Dear Planning Board Members and Ms. Newman:

Pursuant to Chapter 40A of the Massachusetts General Laws, the Needham Zoning By-Law, the Needham Planning Board Rules, and Section 4.2 of Major Project Site Plan Special Permit No. 2007-10, dated November 13, 2007, as amended (the "existing Special Permit"), the Applicant, Beth Israel Deaconess Hospital - Needham, Inc. hereby submits an application requesting that the Planning Board approve its proposed project through the Site Plan Review process, and amend the existing Special Permit to that effect.

The original decision approving a Major Project Site Plan Special Permit for this property was dated November 13, 2007. That Special Permit was subsequently amended by decisions dated July 28, 2009; July 12, 2011; September 20, 2011; December 4, 2012; October 24, 2017; and March 5, 2019.

One of the entrances to the Hospital is on Lincoln Street. The minimum front setback for this zoning district is 25 feet, and the minimum side yard setback is 20 feet. At its closest point, Hospital's existing canopy leading to the Lincoln Street entrance, including related support structures, is approximately 8.7 feet from the Lincoln Street property line, and is thus non-conforming regardless of whether Lincoln Street is considered a front or side entrance. The

Needham Planning Board Members

Lee Newman

April 11, 2024

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Hospital is a legal pre-existing non-conforming structure, which status has been recognized in prior applications and decisions. See, e.g., Section 1.8 of the Planning Board's December 4, 2012 Decision, in which the Planning Board stated that "the existing Hospital Building is a legal, pre-existing non-conforming structure because of the location of the existing canopy at the former emergency department entrance located on Lincoln Street."

The Hospital intends to renovate its existing nuclear medicine imaging suite in the hospital. The temporary imaging trailer is needed so that the Hospital can provide medical imaging services during the renovation of the nuclear medicine suite.

The proposed plan includes the following elements, to take place while the nuclear medical suite within the Hospital is being renovated (a process anticipated to take approximately six months):

1. Temporary removal of the existing canopy.
2. Installation of a medical imaging trailer in the circular driveway. The closest point of the proposed temporary trailer to the Lincoln Street property line is approximately twelve (12) feet.
3. Construction of a temporary covered corridor or walkway connecting the trailer to the hospital building.
4. Improvements to the landscaping in the area of the trailer and entrance.
5. Once the renovations to the nuclear medicine suite within the Hospital are complete, removal of the trailer and temporary covered corridor, restoration of the current canopy at the entrance to the building, and restoration of the landscaping as shown on the drawings submitted herewith.

To effect the foregoing proposal, the Applicant requests the following relief:

1. Further Site Plan Review of a Major Project, pursuant to Section 7.4 of the Zoning Bylaw, Article II of the Planning Board Rules, and Section 4.2 of Major Project Site Plan Special Permit No. 2007-10, as amended; and
2. Further amendment to Major Project Site Plan Special Permit No. 2007-10, as amended, pursuant to Section 1.4.6 of the Zoning Bylaw, to permit structural alteration, enlargement, and/or reconstruction of a non-conforming structure.

Please note that the project was reviewed and approved by the Design Review Board at its April 8 meeting.

The Applicant certifies pursuant to the Zoning By-Law, Section 7.4 that the project can be constructed and/or that the proposed uses thereof can be commenced without need for the issuance of any variance from any provisions of the Zoning By-Law by the Zoning Board of Appeals.

This Application for Further Site Plan Review and Amendment to Special Permit includes the following documents:

1. This letter dated April 11, 2024 to the Planning Board and Planning Director.
2. The completed application form signed by myself on behalf of the Applicant.
3. A letter from the Applicant, Beth Israel Deaconess Hospital – Needham, Inc., authorizing me to sign the Application on its behalf.
4. A combined set of plans and drawings prepared by Vanasse Hangen Brustlin, 101 Walnut Street, Watertown, MA 02472 and stamped on March 28, 2024, including (i) Legend and General Notes; (ii) Existing Conditions Plan; (iii) Interim Conditions: Trailer Site and Landscape Plan; (iv) Future Conditions: Restoration Site and Landscape Plan; and (v) Site Details.
5. A stamped set of architectural plans and drawings, prepared by Margulies Perruzzi, Architects, 308 Congress Street, Boston, MA 02110, dated January 23 and 25, 2024, including (i) Site Plan and (ii) Exterior Elevations.
6. A set of renderings of the proposed project prepared by Margulies Perruzzi, Architects, 308 Congress Street, Boston, MA 02110, dated March 27, 2024, including numerous views of the existing entrance, proposed trailer and connecting corridor, and restored conditions once the trailer is removed.
7. Application fee payable to the Town of Needham in the amount of \$ 1,000.00.

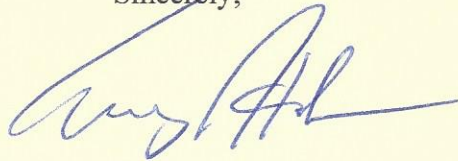
Pursuant to the Board's Covid-19 procedures, these documents are being submitted electronically; additionally three (3) hard copies of the application (with original signatures) and all supporting materials, including wet-stamped plans, are being hand delivered to the Planning Department along with the application fee; and, lastly, one hard copy of items 1 through 7, above (all the plans 11 x 17), is being mailed to each Board member, and delivered to Lee Newman.

The Applicant hereby requests, pursuant to Zoning By-Law Section 7.4.4, that the Planning Board waive the submission by Applicant of any of the required information not submitted herewith.

Needham Planning Board Members
Lee Newman
April 11, 2024
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I would appreciate your scheduling this matter for hearing at the Board's May 14, 2024 meeting. Thank you for your cooperation.

Sincerely,

A handwritten signature in blue ink, appearing to read "Evans Huber", written in a cursive style.

Evans Huber

Legend

Legend table with columns: Exist., Prop., Description, Exist., Prop., Description. Includes symbols for property lines, easements, parking setbacks, baselines, zoning lines, town lines, floodplains, wetland lines, borders, no-disturb zones, gravel roads, edges of pavement, bituminous berms, curbs, concrete curbs, extruded concrete curbs, monolithic concrete curbs, precast concrete curbs, sloped granite edging, vertical granite curbs, limits of curb type, sawcuts, buildings, loading docks, bollards, dumpster pads, signs, double signs, steel guardrails, wood guardrails, paths, tree lines, wire fences, fences, stockade fences, stone walls, retaining walls, streams, detention basins, hay bales, silt fences, silt socks, contours, parking counts, compact parking stalls, double yellow lines, stop lines, crosswalks, accessible curbs, accessible parking, and van-accessible parking.

Abbreviations

Abbreviations table with columns: General, Description. Includes abbreviations for concrete, heavy duty pavement, buildings, riprap, construction exit, top of curb elevation, bottom of curb elevation, spot elevation, top & bottom of wall elevation, boring location, test pit location, monitoring well, underdrain, drain, roof drain, sewer, force main, overhead wire, water, fire protection, domestic water, gas, electric, steam, telephone, fire alarm, cable TV, catch basin concentric, catch basin eccentric, double catch basin concentric, double catch basin eccentric, gutter inlet, drain manhole concentric, drain manhole eccentric, trench drain, plug or cap, cleanout, flared end section, headwall, sewer manhole concentric, sewer manhole eccentric, curb stop & box, water valve & box, tapping sleeve, valve & box, fire department connection, fire hydrant, water meter, post indicator valve, water well, gas gate, gas meter, electric manhole, electric meter, light pole, telephone manhole, transformer pad, utility pole, guy pole, guy wire & anchor, hand hole, pull box, matchline, handhole, headwall, hydrant, invert elevation, light pole, metal end section, guy pole, paved water way, polyvinylchloride pipe, reinforced concrete pipe, rim elevation, rim elevation, sewer manhole, tapping sleeve, valve and box, underground, utility pole.

Notes

- General
1. CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
3. ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).
4. AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC) SHALL RECEIVE 6 INCHES LOAM AND SEED.
5. WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, THE SITE CONTRACTOR SHALL PERFORM EARTHWORK OPERATIONS REQUIRED UP TO SUBGRADE ELEVATIONS.
6. WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS. WORK WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE HIGHWAY DEPARTMENTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
7. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT APPROPRIATE PERMITS.
8. TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
9. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
10. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
11. CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.
12. DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
13. CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.

Utilities

- 1. THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR ITS REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND, SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.
2. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTOR'S FAILURE TO NOTIFY PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATIONS FOR ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT.
3. SET CATCH BASIN RIMS, AND INVERTS OF SEWERS, DRAINS, AND DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE GRADING AND UTILITY PLANS.
4. RIM ELEVATIONS FOR DRAIN AND SEWER MANHOLES, WATER VALVE COVERS, GAS GATES, ELECTRIC AND TELEPHONE PULL BOXES, AND MANHOLES, AND OTHER SUCH ITEMS, ARE APPROXIMATE AND SHALL BE SET/RESET AS FOLLOWS:
A. PAVEMENTS AND CONCRETE SURFACES: FLUSH
B. ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH
C. LANDSCAPE, LOAM AND SEED, AND OTHER EARTH SURFACE AREAS: ONE INCH ABOVE SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION.
5. THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.
6. CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY THE UTILITIES COMPANY.
7. UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLAN:
A. WATER PIPES SHALL BE THICKNESS CLASS 52 DUCTILE IRON (DI) PIPE
B. SANITARY SEWER PIPES SHALL BE SDR 35 POLYVINYL CHLORIDE (PVC) SEWER PIPE
C. STORM DRAINAGE PIPES SHALL BE DOUBLE-WALL, TYPE 5, HIGH-DENSITY POLYETHYLENE (HDPE) PIPE
D. PIPE INSTALLATION AND MATERIALS SHALL COMPLY WITH THE STATE PLUMBING CODE WHERE APPLICABLE. CONTRACTOR SHALL COORDINATE WITH LOCAL PLUMBING INSPECTOR PRIOR TO BEGINNING WORK.
8. CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND SHALL FURNISH EXCAVATION, INSTALLATION, AND BACKFILL OF ELECTRICAL FURNISHED SITEMARK RELATED ITEMS SUCH AS PULL BOXES, CONDUITS, DUCT BANKS, LIGHT POLE BASES, AND CONCRETE PADS. SITE CONTRACTOR SHALL FURNISH CONCRETE ENCASUREMENT OF DUCT BANKS IF REQUIRED BY THE UTILITY COMPANY AND AS INDICATED ON THE DRAWINGS.
9. CONTRACTOR SHALL EXCAVATE AND BACKFILL TRENCHES FOR GAS IN ACCORDANCE WITH GAS COMPANY'S REQUIREMENTS.
10. ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4" MIN) SHALL BE DETERMINED BY THE MANUFACTURERS BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS AND LOCAL MUNICIPAL STANDARDS. FOR MANHOLES THAT ARE 20 FEET IN DEPTH AND GREATER, THE MINIMUM DIAMETER SHALL BE 5 FEET.

Layout and Materials

- 1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
2. CURB RADII ARE 3- FEET UNLESS OTHERWISE NOTED.
3. CURBING SHALL BE PRECAST CONCRETE CURB (PCC) WITHIN THE SITE UNLESS OTHERWISE INDICATED ON THE PLANS.
4. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
5. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LAND SURVEYOR.
6. PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.

Demolition

- 1. CONTRACTOR SHALL PERFORM THE LIMITED DEMOLITION DEPICTED ON THE DRAWINGS, INCLUDING PARTIAL CONCRETE WALL REMOVAL AND DISPOSAL OF MANMADE SURFACE FEATURES IDENTIFIED WITHIN THE PROJECT AREA, UNLESS INDICATED OTHERWISE ON THE DRAWINGS, EXISTING STRUCTURES, SITE FEATURES, AND UTILITIES SHALL BE MAINTAINED AND PROTECTED.
2. WHERE EXISTING UTILITIES ARE INDICATED TO BE TERMINATED, AND UNLESS OTHERWISE NOTED, TERMINATIONS SHALL BE IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.
3. CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.
4. THE DEMOLITION LIMITS DEPICTED IN THE PLANS IS INTENDED TO AID THE CONTRACTOR DURING THE BIDDING AND CONSTRUCTION PROCESS AND IS NOT INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THE DETAILED SCOPE OF DEMOLITION BEFORE SUBMITTING ITS BID/PROPOSAL TO PERFORM THE WORK AND SHALL MAKE NO CLAIMS AND SEEK NO ADDITIONAL COMPENSATION FOR CHANGED CONDITIONS OR UNFORESEEN OR LATENT SITE CONDITIONS RELATED TO ANY CONDITIONS DISCOVERED DURING EXECUTION OF THE WORK.
5. UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THE PLANS OR IN THE SPECIFICATIONS, THE ENGINEER HAS NOT PREPARED DESIGNS FOR AND SHALL HAVE NO RESPONSIBILITY FOR THE PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF HAZARDOUS MATERIALS, TOXIC WASTES OR POLLUTANTS AT THE PROJECT SITE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS OF LOSS, DAMAGE, EXPENSE, DELAY, INJURY OR DEATH ARISING FROM THE PRESENCE OF HAZARDOUS MATERIAL AND CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER FROM ANY CLAIMS MADE IN CONNECTION THEREWITH. MOREOVER, THE ENGINEER SHALL HAVE NO ADMINISTRATIVE OBLIGATIONS OF ANY TYPE WITH REGARD TO ANY CONTRACTOR AMENDMENT INVOLVING THE ISSUES OF PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF ASBESTOS OR OTHER HAZARDOUS MATERIALS.

Erosion Control

- 1. PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.
2. CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS (MINIMUM). THE CONTRACTOR SHALL ADDRESS DEFICIENCIES AND MAINTENANCE ITEMS WITHIN TWENTY-FOUR HOURS OF INSPECTION. CONTRACTOR SHALL PROPERLY DISPOSE OF SEDIMENT SUCH THAT IT DOES NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
3. CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.
4. CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION.
5. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.

Existing Conditions Information

- 1. BASE PLAN: THE RIGHT OF WAY LINE OF LINCOLN STREET WAS DETERMINED (NO PROPERTY LINES OF THE SITE BOUNDARY WERE DETERMINED) BY AN ACTUAL FIELD SURVEY CONDUCTED BY VHB, INC. IN JANUARY, 2024 AND FROM PLANS OF RECORD. THE TOPOGRAPHY AND PHYSICAL FEATURES ARE BASED ON AN ACTUAL FIELD SURVEY PERFORMED ON THE GROUND BY VHB, INC. BETWEEN JANUARY, 2024 AND FEBRUARY, 2024. [OTHER SERVICES].
2. TOPOGRAPHY: ELEVATIONS ARE BASED ON NAVD88.
3. THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ON THIS PLAN WERE MAPPED PER AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE) STANDARD 38-22, QUALITY LEVEL(S) "X" AS SPECIFIED IN THE CONTRACT BETWEEN THE CLIENT AND VHB. PLEASE NOTE THAT, WHILE BEST PRACTICES WERE FOLLOWED, NOT ALL UTILITIES MAY BE SHOWN AND THE ACCURACY OF UTILITY LOCATIONS CANNOT BE GUARANTEED.

Document Use

- 1. THESE PLANS AND CORRESPONDING CADD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE, AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUT THE EXPRESSED, WRITTEN CONSENT OF VHB. ANY UNAUTHORIZED USE, REUSE, MODIFICATION OR ALTERATION, INCLUDING AUTOMATED CONVERSION OF THIS DOCUMENT SHALL BE AT THE USER'S SOLE RISK WITHOUT LIABILITY OR LEGAL EXPOSURE TO VHB.
2. CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
3. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.

CLIENT INFORMATION



IMAGING TRAILER

148 CHESTNUT ST
NEEDHAM, MA 02492

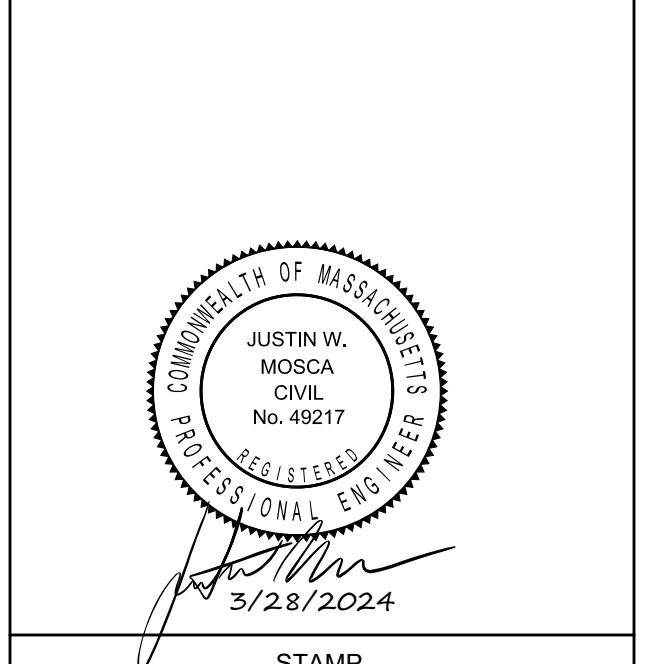
CONSULTANT INFORMATION



REVISIONS

Table with columns: NO, DESCRIPTION, DATE. Contains one revision entry.

NOT APPROVED FOR CONSTRUCTION



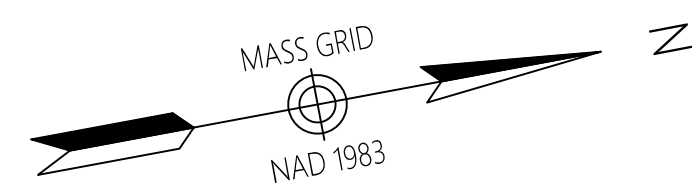
STAMP

DATE: 03/27/24
SCALE: NA
DRAWN BY: NG
PROJECT NUMBER: 16274.00
DRAWING TITLE

LEGEND AND GENERAL NOTES

C-1.01
DRAWING NUMBER

ISSUED FOR TOWN REVIEW



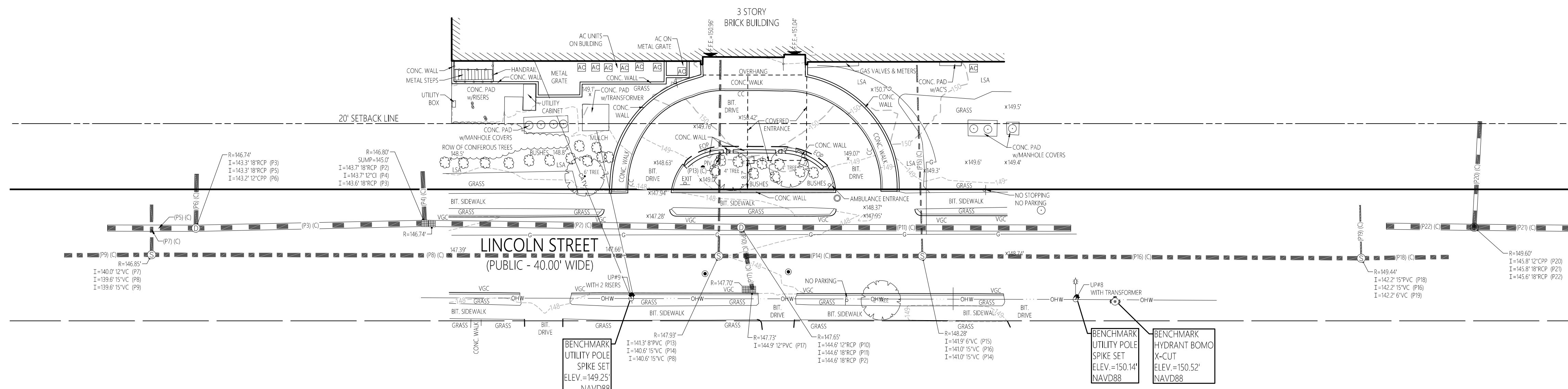
CLIENT INFORMATION

Beth Israel Lahey Health
Beth Israel Deaconess Needham

IMAGING TRAILER

148 CHESTNUT ST
NEEDHAM, MA 02492

CONSULTANT INFORMATION



Record Owner

DEACONESS-GLOVER HOSPITAL CORPORATION
148 CHESTNUT STREET
NEEDHAM, MASS
PID 199/047D-0055-0000.0
I.C. BOOK 713, PAGE 135
BOOK 10575, PAGE 287-290
BOOK 29996, PAGE 496
BOOK 29996, PAGE 499

General Notes

- 1) THE RIGHT OF WAY LINE OF LINCOLN STREET WAS DETERMINED (NO PROPERTY LINES OF THE SITE BOUNDARY WAS DETERMINED) AND IS SHOWN ON THIS PLAN WHICH ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VHB, INC. IN JANUARY, 2024 AND FROM PLANS OF RECORD.
- 2) THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VHB, INC. BETWEEN JANUARY, 2024 AND FEBRUARY, 2024.
- 3) THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ON THIS PLAN WERE MAPPED PER AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE) STANDARD 38-22, QUALITY LEVELS "X" AS SPECIFIED IN THE CONTRACT BETWEEN THE CLIENT AND VHB. PLEASE NOTE THAT WHILE BEST PRACTICES WERE FOLLOWED, NOT ALL UTILITIES MAY BE SHOWN AND THE ACCURACY OF UTILITY LOCATIONS CANNOT BE GUARANTEED.
- 4) HORIZONTAL DATUM IS BASED ON MASS GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD 83.
- 5) THE LOT LIES ENTIRELY WITHIN ZONE X (UNSHADED) (AREAS TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR NORFOLK COUNTY, MASSACHUSETTS, MAP NUMBER 2502IC0038E, EFFECTIVE DATE JULY 7, 2012.
- 6) THE LOT LIES ENTIRELY WITHIN THE GENERAL RESIDENCE ZONE (GR) WITH A MEDICAL OVERLAY DISTRICT AS SHOWN ON THE 'TOWN OF NEEDHAM, MASSACHUSETTS, ZONING MAP' DATED MAY, 2015 REVISED APRIL 1, 2018. DIMENSIONAL REQUIREMENTS FOR A THE MEDICAL OVERLAY DISTRICT WITH RESPECT TO THE PROJECT LIMITS AT THE TIME OF THIS SURVEY ARE:

REQUIRED

- MINIMUM FRONT YARD SETBACK _____ 25 FEET
- MINIMUM SIDE YARD SETBACK _____ 20 FEET
- MINIMUM REAR YARD SETBACK _____ 20 FEET

- 7) THE TREE SYMBOL OUTLINE SHOWN ON THIS PLAN DOES NOT REPRESENT THE ACTUAL TREE CANOPY.
- 8) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND MAY BE SUBJECT TO ADDITIONAL INFORMATION DISCLOSED IN SUCH.

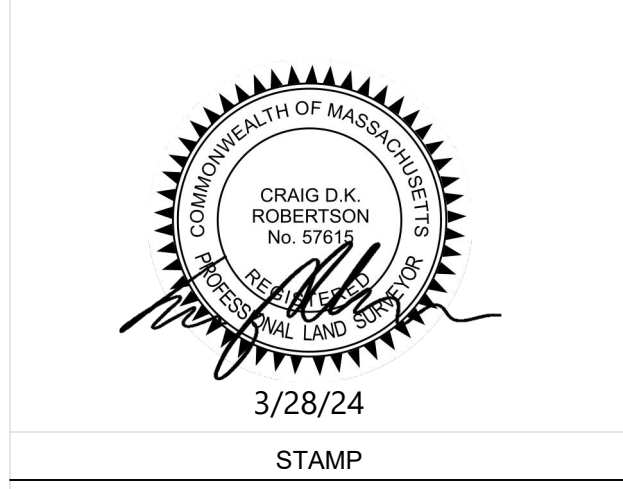


Legend

- DRAIN MANHOLE
- CATCH BASIN
- ⊕ SEWER MANHOLE
- ⊖ ELECTRIC MANHOLE
- ⊗ TELEPHONE MANHOLE
- MANHOLE
- HAND HOLE
- ⊕ WATER GATE
- ⊖ FIRE HYDRANT
- GAS GATE
- BOLLARD w/LIGHT
- ⊖ STREET SIGN
- LIGHT POLE
- UTILITY POLE
- GUY POLE
- GUY WIRE
- MONITORING WELL
- FLOOD LIGHT
- WELL
- MARSH
- ▲ F.F.E. ±45.27'
- FINISHED FLOOR ELEVATION
- COULD NOT OPEN
- NO PIPES VISIBLE
- DWL DOUBLE YELLOW LINE
- DWL DASHED WHITE LINE
- SYL SINGLE YELLOW LINE
- EDGE OF PAVEMENT
- CONCRETE CURB
- VERTICAL GRANITE CURB
- SLOPED GRANITE EDGE
- BITUMINOUS BERM
- BITUMINOUS CURB
- GUARDRAIL
- CHAIN LINK FENCE
- DRAINAGE LINE w/PIPE NUMBER & ASCE SUE LEVEL CLASSIFICATION
- SEWER LINE w/PIPE NUMBER & ASCE SUE LEVEL CLASSIFICATION
- OVERHEAD WIRE
- UNDERGROUND ELECTRIC
- TELEPHONE LINE
- GAS LINE
- WATER LINE
- STONE WALL
- TREE LINE

REVISIONS		
NO	DESCRIPTION	DATE

NOT APPROVED FOR CONSTRUCTION



DATE..... 03/27/24
 SCALE..... 1" = 20'
 DRAWN BY..... JLB
 PROJECT NUMBER..... 16274.00
 DRAWING TITLE

EXISTING CONDITIONS PLAN

C-2.01
DRAWING NUMBER
ISSUED FOR TOWN REVIEW

Zoning Summary Chart

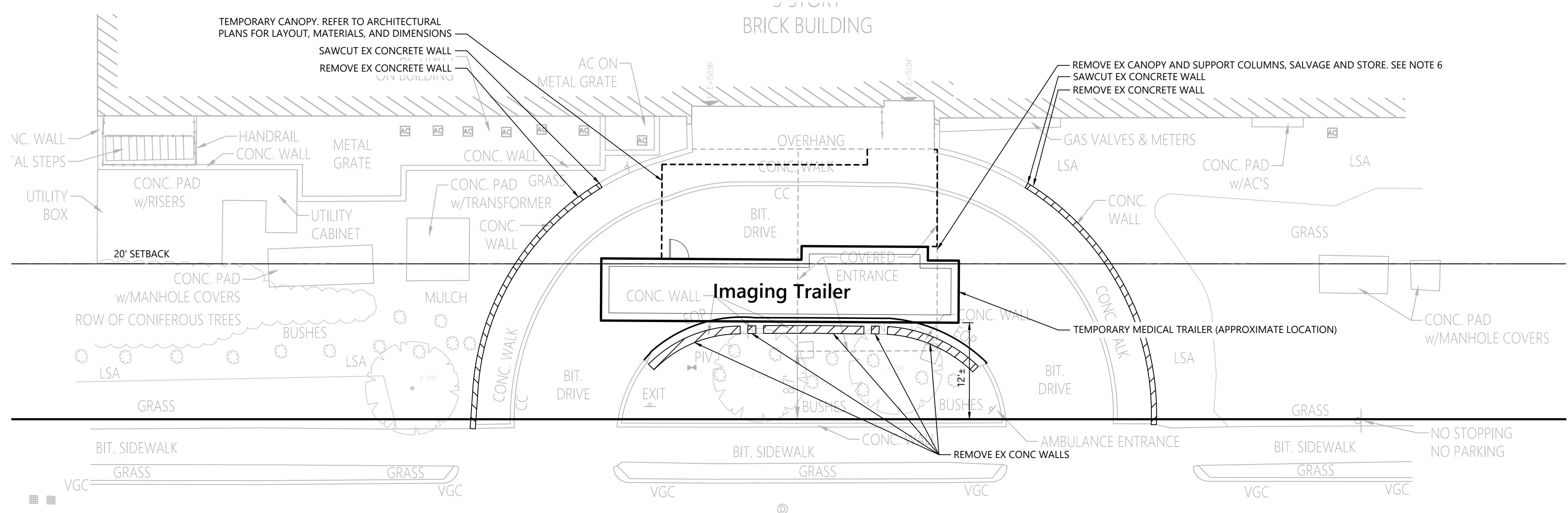
Zoning District(S):	General Residence			
Overlay District(S):	Medical Overlay District			
Zoning Regulation Requirements	Required*	Existing Conditions (Lincoln St.)	Interim: Trailer & Canopy	Future: Post-Trailer Restoration Of Existing Canopy
FRONT YARD SETBACK	25 Feet	Outside Project Area	No Change	No Change
SIDE YARD SETBACK	20 Feet	8.7-ft (Existing Canopy)	12-ft (Trailer)	8.7-ft (Existing Canopy)

* ZONING REGULATIONS AS SPECIFIED IN ZONING BYLAW OF THE TOWN OF NEEDHAM AS AMENDED UNDER ARTICLE 48 - MARCH 26, 1925 ADJOURNED ANNUAL TOWN MEETING, AS RECODIFIED TO FEBRUARY 27, 1984 AND AS FURTHER AMENDED TO OCTOBER 2021 SECTION 3.6.1.

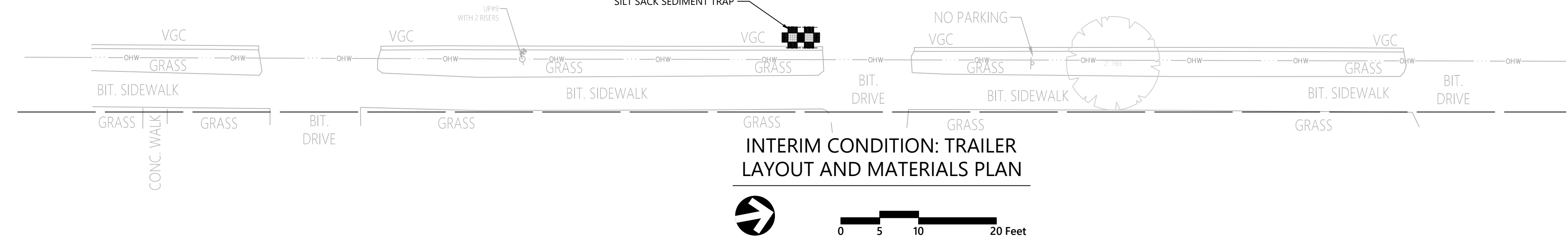
- GENERAL NOTES:**
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING MEASURES TO CONTROL EROSION AS NECESSARY. EROSION CONTROLS SHOWN ARE THE MINIMUM RECOMMENDED. PROVIDE AND MAINTAIN EROSION CONTROL MEASURES UNTIL SITE IS FULLY STABILIZED, INCLUDING INLET PROTECTION.
 - CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO EXISTING BUILDING THROUGHOUT CONSTRUCTION UNLESS OTHERWISE NOTED.
 - RESTORE EXISTING GRADES WITHIN PROJECT AREA.
 - PROTECT EXISTING 6" AND 8" SEWER SERVICES TO BUILDING WITH STEEL PLATES DURING TRAILER DELIVERY. SEE EXISTING CONDITIONS PLAN OF LAND FOR SEWER SERVICE LOCATIONS.
 - COORDINATE WITH OWNER FOR LOCATION TO STORE EX CANOPY AND APPURTENANCES.
 - PROTECT AND MAINTAIN EXISTING SITE FEATURES UNLESS SPECIFICALLY NOTED FOR REMOVAL, INCLUDING PAVEMENTS, WALKS, CURBING, VEGETATION, CANOPY COLUMN FOOTINGS, ETC. SITE FEATURES NEEDING TO BE REMOVED TO FACILITATE TRAILER INSTALLATION NOT SHOWN HERE SHALL BE COORDINATED WITH THE OWNER AND ENGINEER PRIOR TO REMOVAL.
 - TEMPORARY CANOPY SHALL BE ATTACHED TO BOTH THE EXISTING BUILDING AND THE PROPOSED TEMPORARY TRAILER. REFER TO ARCHITECTURAL PLANS.



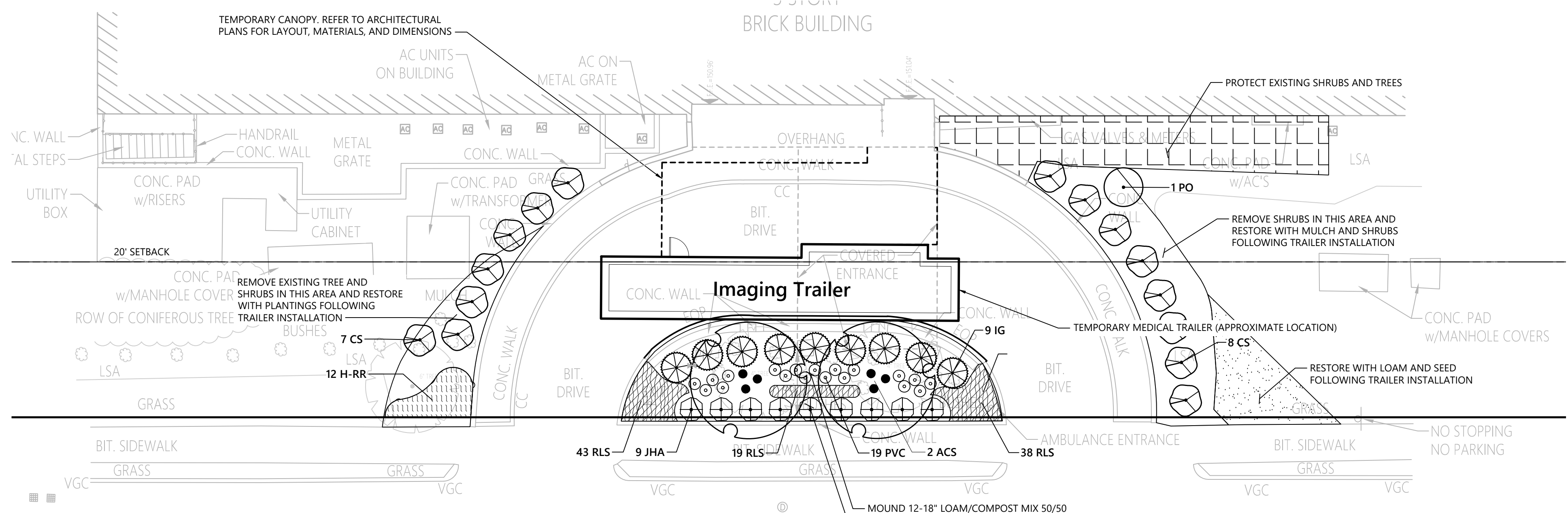
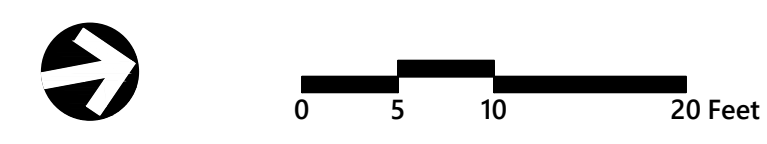
INTERIM CONDITION: TRAILER OVERALL SITE PLAN



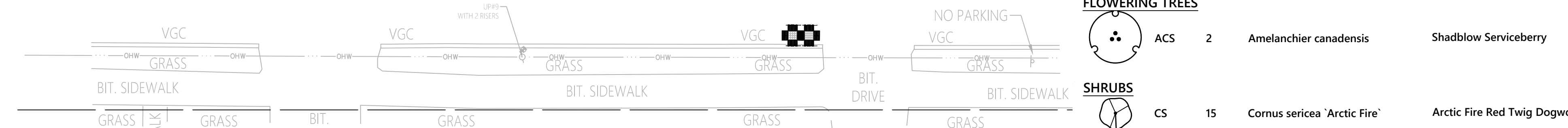
LINCOLN STREET (PUBLIC - 40.00' WIDE)



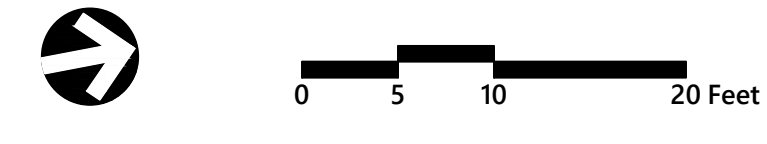
INTERIM CONDITION: TRAILER LAYOUT AND MATERIALS PLAN



LINCOLN STREET (PUBLIC - 40.00' WIDE)



INTERIM CONDITION: TRAILER LANDSCAPE PLAN



INTERIM CONDITION PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
FLOWERING TREES					
	ACS	2	Amelanchier canadensis	Shadblow Serviceberry	8 - 10' HT./Multi-Stem
SHRUBS					
	CS	15	Cornus sericea 'Arctic Fire'	Arctic Fire Red Twig Dogwood	#5 POT
	IG	9	Ilex glabra	Inkberry	2 - 3' HT.
	JHA	9	Juniperus horizontalis 'Andorra'	Andorra Juniper	18 - 24' SPD
	PO	1	Physocarpus opulifolius 'Diabolo'	Diabolo Ninebark	#5 POT
GRASSES					
	PVC	19	Panicum virgatum 'Cheyenne Sky'	Cheyenne Switch Grass	#2 POT
PERENNIALS					
	H-RR	12	Hemerocallis x 'Rosy Returns'	Rosy Returns Daylily	#1 POT 24" o.c.
	RLS	100	Rudbeckia fulgida 'Little Suzy'	Little Suzy Black-eyed Susan	#1 POT 12" o.c.



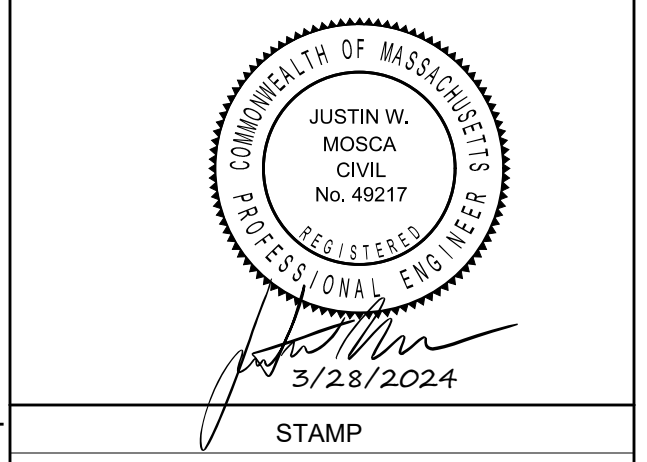
CLIENT INFORMATION
Beth Israel Lahey Health
Beth Israel Deaconess Needham

IMAGING TRAILER
148 CHESTNUT ST
NEEDHAM, MA 02492



REVISIONS		
NO.	DESCRIPTION	DATE

NOT APPROVED FOR CONSTRUCTION



DATE: 03/27/24
SCALE: As Noted
DRAWN BY: NG / WH
PROJECT NUMBER: 16274.00
DRAWING TITLE:

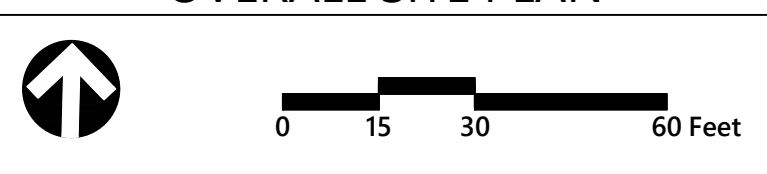
INTERIM CONDITION: TRAILER SITE AND LANDSCAPE PLAN

C-3.01
DRAWING NUMBER

ISSUED FOR TOWN REVIEW



FUTURE CONDITION: POST-TRAILER RESTORATION OVERALL SITE PLAN

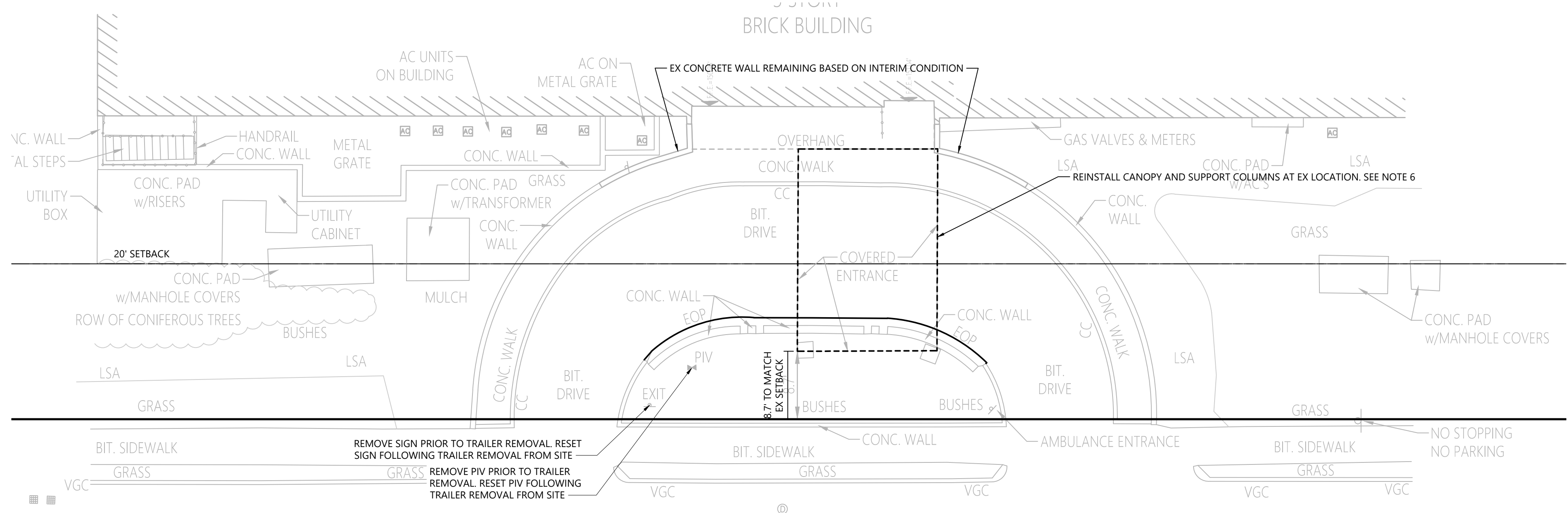


Zoning Summary Chart

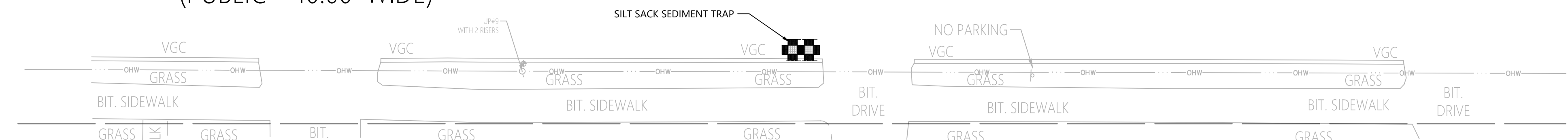
Zoning District(S):	General Residence			
Overlay District(S):	Medical Overlay District			
Zoning Regulation Requirements	Required*	Existing Conditions (Lincoln St.)	Interim: Trailer & Canopy	Future: Post-Trailer Restoration Of Existing Canopy
FRONT YARD SETBACK	25 Feet	Outside Project Area	No Change	No Change
SIDE YARD SETBACK	20 Feet	8.7-ft (Existing Canopy)	12-ft (Trailer)	8.7-ft (Existing Canopy)

* ZONING REGULATION REQUIREMENTS AS SPECIFIED IN ZONING BYLAW OF THE TOWN OF NEEDHAM AS AMENDED UNDER ARTICLE 48 - MARCH 26, 1925 ADJOURNED ANNUAL TOWN MEETING, AS RECODIFIED TO FEBRUARY 27, 1984 AND AS FURTHER AMENDED TO OCTOBER 2021 SECTION 3.6.6.1

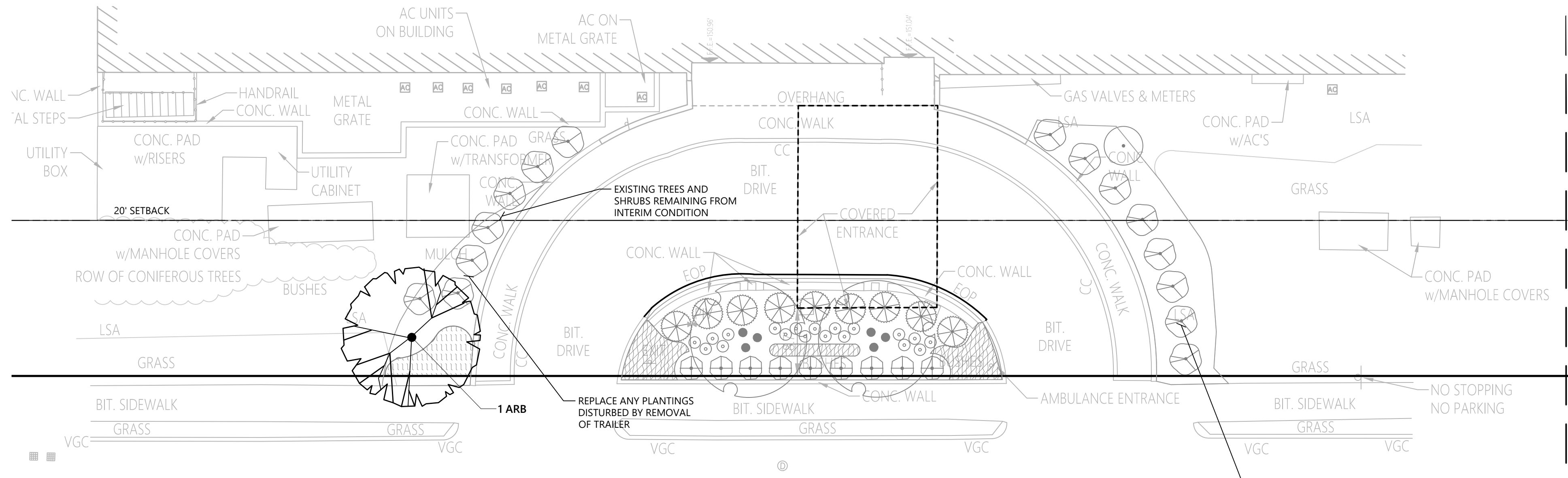
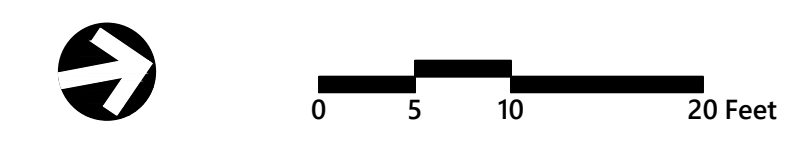
- GENERAL NOTES:**
- PROVIDE AND MAINTAIN EROSION CONTROL MEASURES UNTIL SITE IS FULLY STABILIZED, INCLUDING INLET PROTECTION.
 - PROVIDE SILT SACKS AT EXISTING CATCH BASINS UNTIL UPSTREAM DISTURBED AREAS HAVE BEEN STABILIZED.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ADDITIONAL MEASURES TO CONTROL EROSION AS NECESSARY. CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO EXISTING BUILDING THROUGHOUT CONSTRUCTION UNLESS OTHERWISE NOTED.
 - GRADE LANDSCAPE AREAS TO MATCH FLUSH WITH THE SIDEWALK AT LOCATIONS OF WALL REMOVAL.
 - PROTECT EXISTING 6" AND 8" SEWER SERVICES TO BUILDING WITH STEEL PLATES DURING TRAILER REMOVAL. SEE EXISTING CONDITIONS PLAN OF LAND* FOR SEWER SERVICE LOCATIONS.
 - COORDINATE WITH OWNER FOR STORED LOCATION OF EX CANOPY, SUPPORT COLUMNS, AND APPURTENANCES.
 - PROTECT AND MAINTAIN EXISTING SITE FEATURES UNLESS SPECIFICALLY NOTED FOR REMOVAL, INCLUDING PAVEMENTS, WALKS, CURBING, VEGETATION, ETC. SITE FEATURES NEEDING TO BE REMOVED TO FACILITATE TRAILER REMOVAL NOT SHOWN HERE SHALL BE COORDINATED WITH THE OWNER AND ENGINEER PRIOR TO REMOVAL.



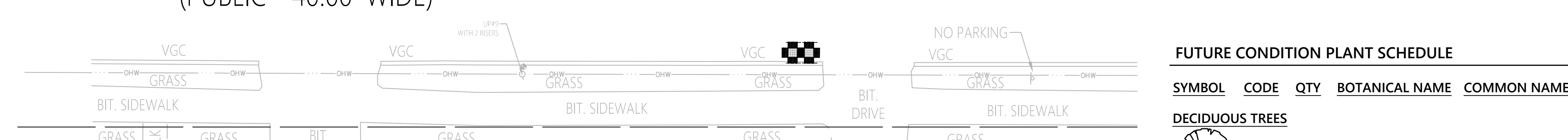
LINCOLN STREET (PUBLIC - 40.00' WIDE)



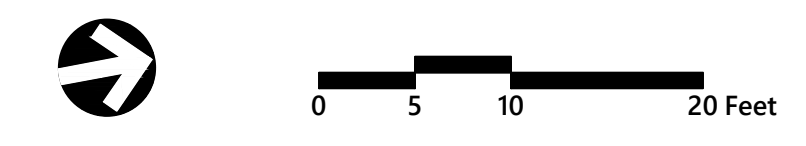
FUTURE CONDITION: POST-TRAILER RESTORATION LAYOUT AND MATERIALS PLAN



LINCOLN STREET (PUBLIC - 40.00' WIDE)



FUTURE CONDITION: POST-TRAILER RESTORATION LANDSCAPE PLAN



FUTURE CONDITION PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
DECIDUOUS TREES					
	ARB	1	Acer rubrum 'Bowhall'	Bowhall Red Maple	2 - 2 1/2" CAL.

margulies perruzzi
308 Congress Street, Boston MA 02210
617.482.2592
mparchitectsboston.com

CLIENT INFORMATION
Beth Israel Lahey Health
Beth Israel Deaconess Needham

IMAGING TRAILER
148 CHESTNUT ST
NEEDHAM, MA 02492

CONSULTANT INFORMATION

REVISIONS

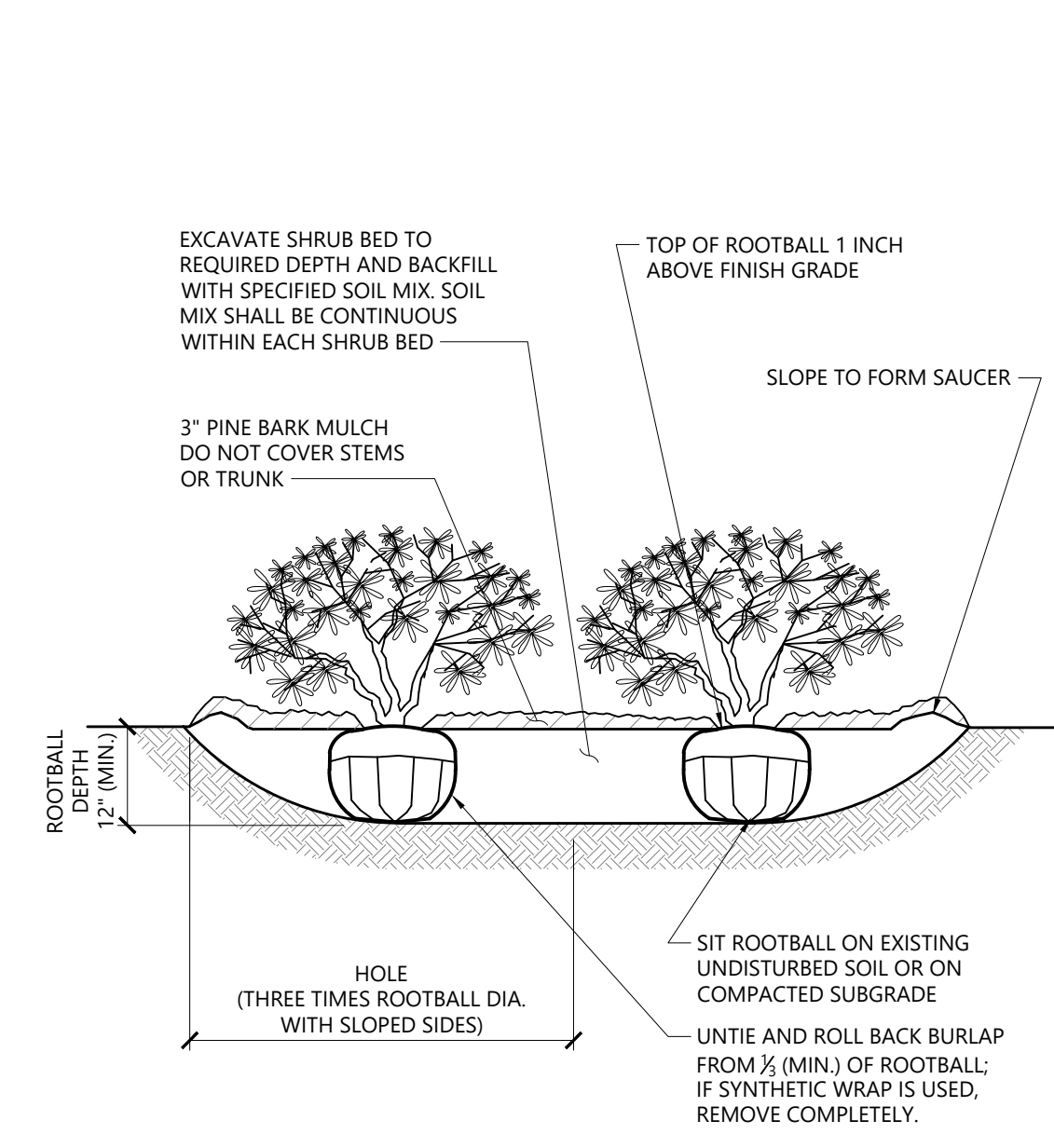
NO	DESCRIPTION	DATE

NOT APPROVED FOR CONSTRUCTION

DATE: 03/27/24
SCALE: As Noted
DRAWN BY: NG / WH
PROJECT NUMBER: 16274.00
DRAWING TITLE

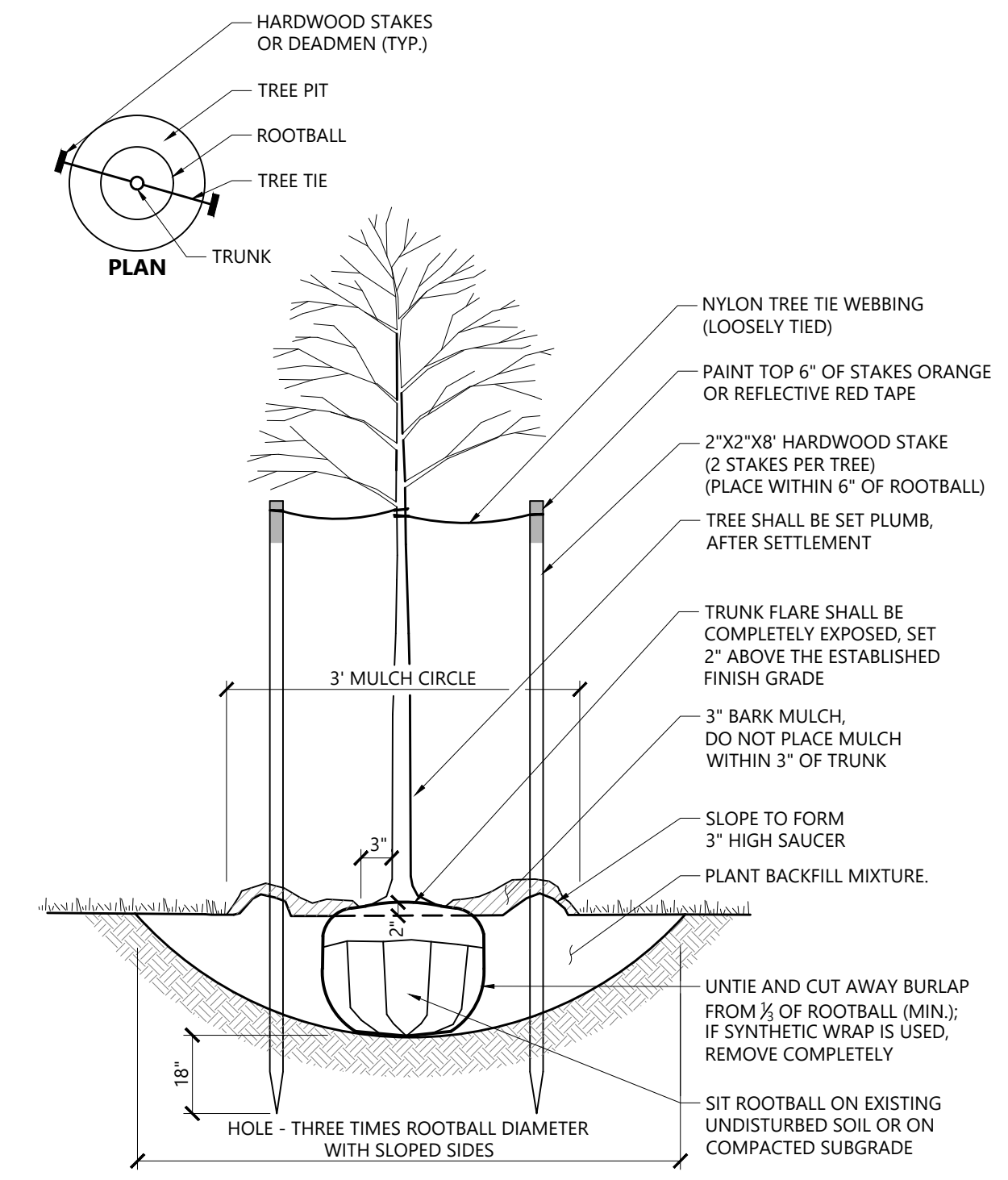
FUTURE CONDITION: RESTORATION SITE AND LANDSCAPE PLAN

C-3.02
ISSUED FOR TOWN REVIEW

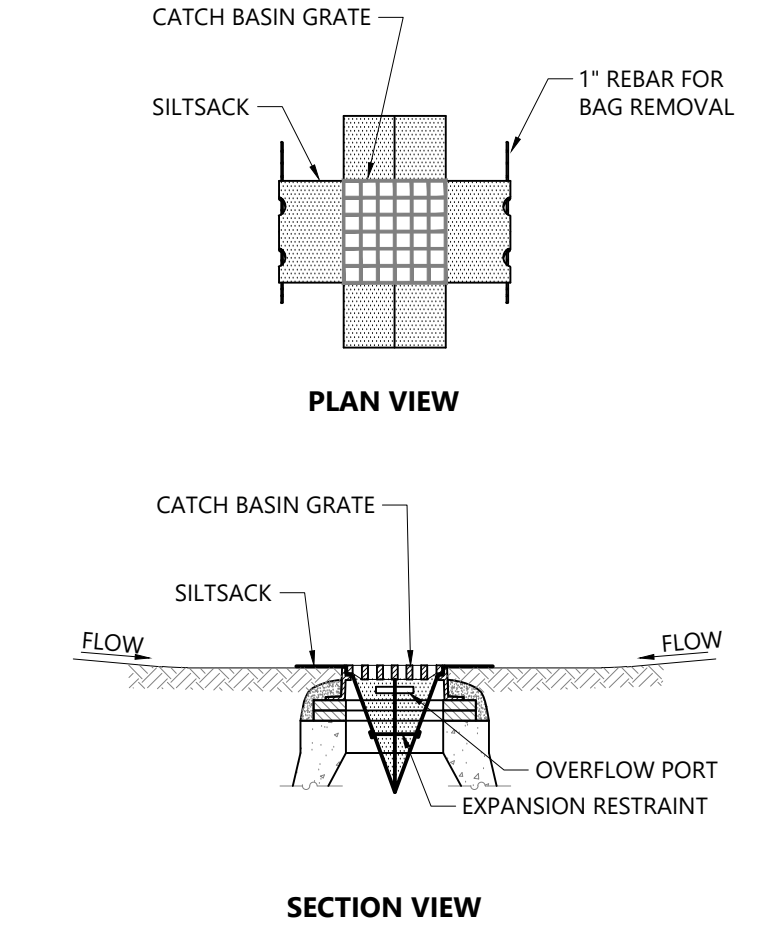


- NOTES**
1. LOOSEN ROOTS AT THE OUTER EDGE OF ROOTBALL OF CONTAINER GROWN SHRUBS.

Shrub Bed Planting 1/16
 N.T.S. Source: VHB LD_601



Tree Planting (For Trees Under 4" Caliper) 9/21
 N.T.S. Source: VHB LD_602

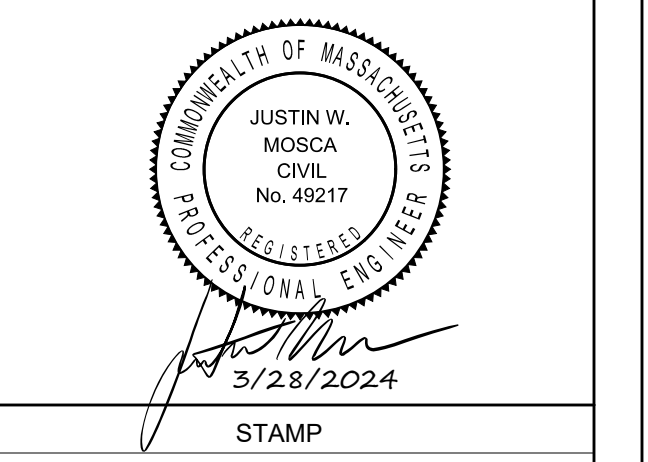


- NOTES**
1. INSTALL SILTSACK IN ALL CATCH BASINS WHERE INDICATED ON THE PLAN BEFORE COMMENCING WORK OR IN PAVED AREAS AFTER BINDER COURSE IS PLACED AND STRAW BALES HAVE BEEN REMOVED.
 2. GRATE TO BE PLACED OVER SILTSACK.
 3. SILTSACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED.

Siltsack Sediment Trap 1/20
 N.T.S. Source: VHB REV LD_674

REVISIONS		
NO	DESCRIPTION	DATE

NOT APPROVED FOR CONSTRUCTION



DATE..... 03/27/24
 SCALE..... As noted
 DRAWN BY..... NG / WH
 PROJECT NUMBER... 16274.00
 DRAWING TITLE

SITE DETAILS
C-4.01
 DRAWING NUMBER
ISSUED FOR TOWN REVIEW

CLIENT INFORMATION

Beth Israel Lahey Health
Beth Israel Deaconess Needham

IMAGING TRAILER

148 CHESTNUT ST
NEEDHAM, MA 02492

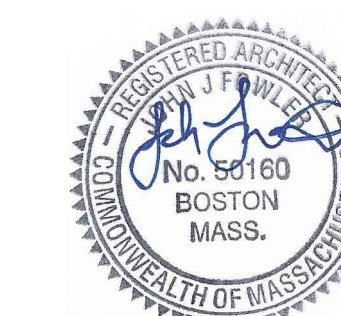
CONSULTANT INFORMATION

CIVIL ENGINEERS
VHB
vhb.com

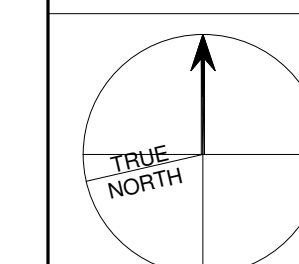
REVISIONS

NO	DESCRIPTION	DATE

KEY PLAN



PROJECT NORTH STAMP



DATE..... 01/23/24
SCALE..... 1/16" = 1'-0"
DRAWN BY..... Author
PROJECT NUMBER... BIN24A.00
DRAWING TITLE
SITE PLAN

L-101

DRAWING NUMBER
**ISSUED FOR TOWN
REVIEW**

LINCOLN STREET

SCHOOL STREET

TEMPORARY CANOPY PROVIDED
AND INSTALLED BY BIDN

25'-0"

9'-0"

3 SPACES

IMAGING TRAILER

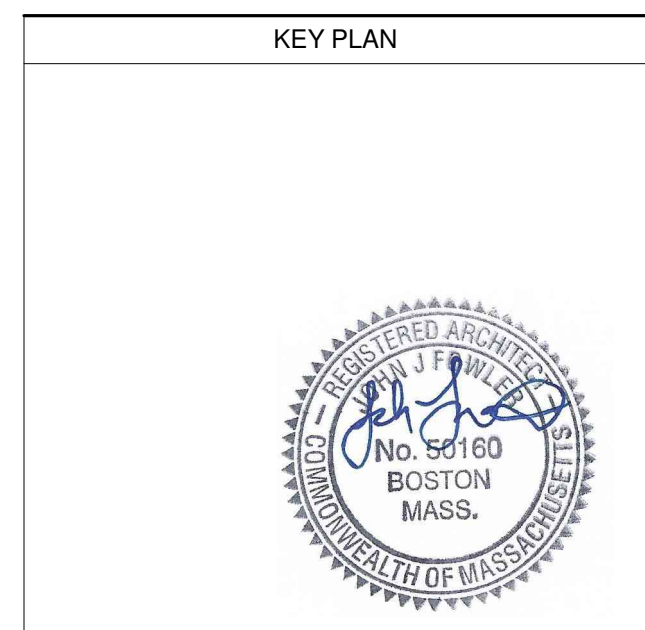
148 CHESTNUT ST
NEEDHAM, MA 02492

CONSULTANT INFORMATION

CIVIL ENGINEERS
VHB
vhb.com

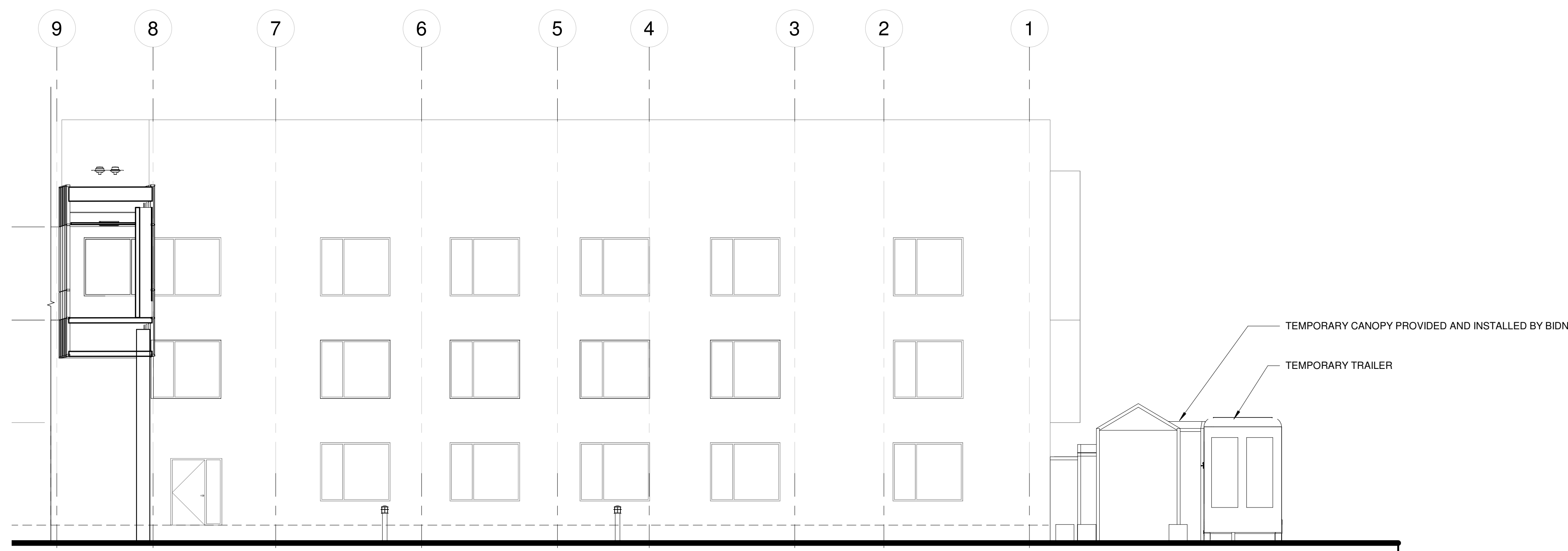
REVISIONS

NO	DESCRIPTION	DATE

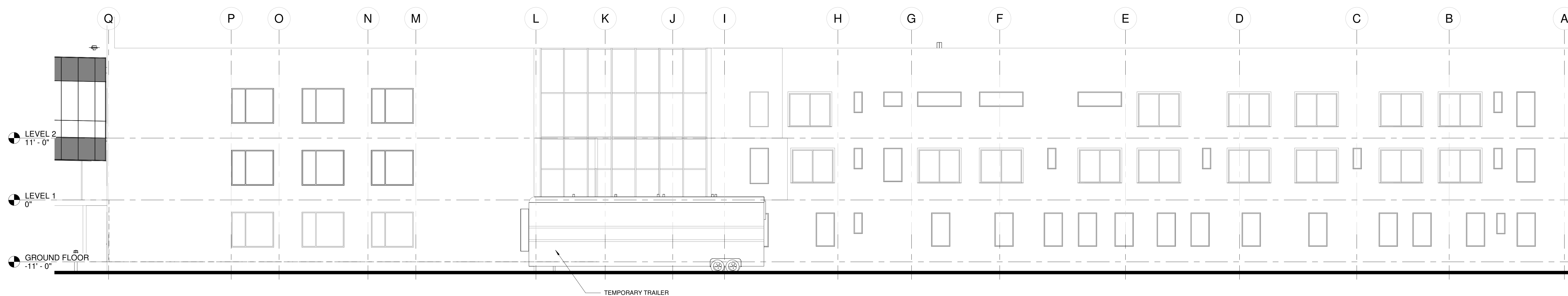


PROJECT NORTH STAMP

DATE..... 01/25/24
SCALE..... 1/8" = 1'-0"
DRAWN BY..... MVM
PROJECT NUMBER... BIN24A.00
DRAWING TITLE
**EXTERIOR
ELEVATIONS**
A-300
DRAWING NUMBER
ISSUED FOR TOWN
REVIEW



① EAST ELEVATION
SCALE: 1/8" = 1'-0"



② NORTH ELEVATION
SCALE: 1/8" = 1'-0"

A BRIDGE TO THE FUTURE
NEW OUTPATIENT CLINICAL CENTER
OPENING 2019
BETH ISRAEL DEACONESS HOSPITAL - NEEDHAM



IMAGING TRAILER
MARCH 27, 2024

Beth Israel Lahey Health 
Beth Israel Deaconess Needham

marguliesperruzzi
Design for the way YOU work.

EXISTING



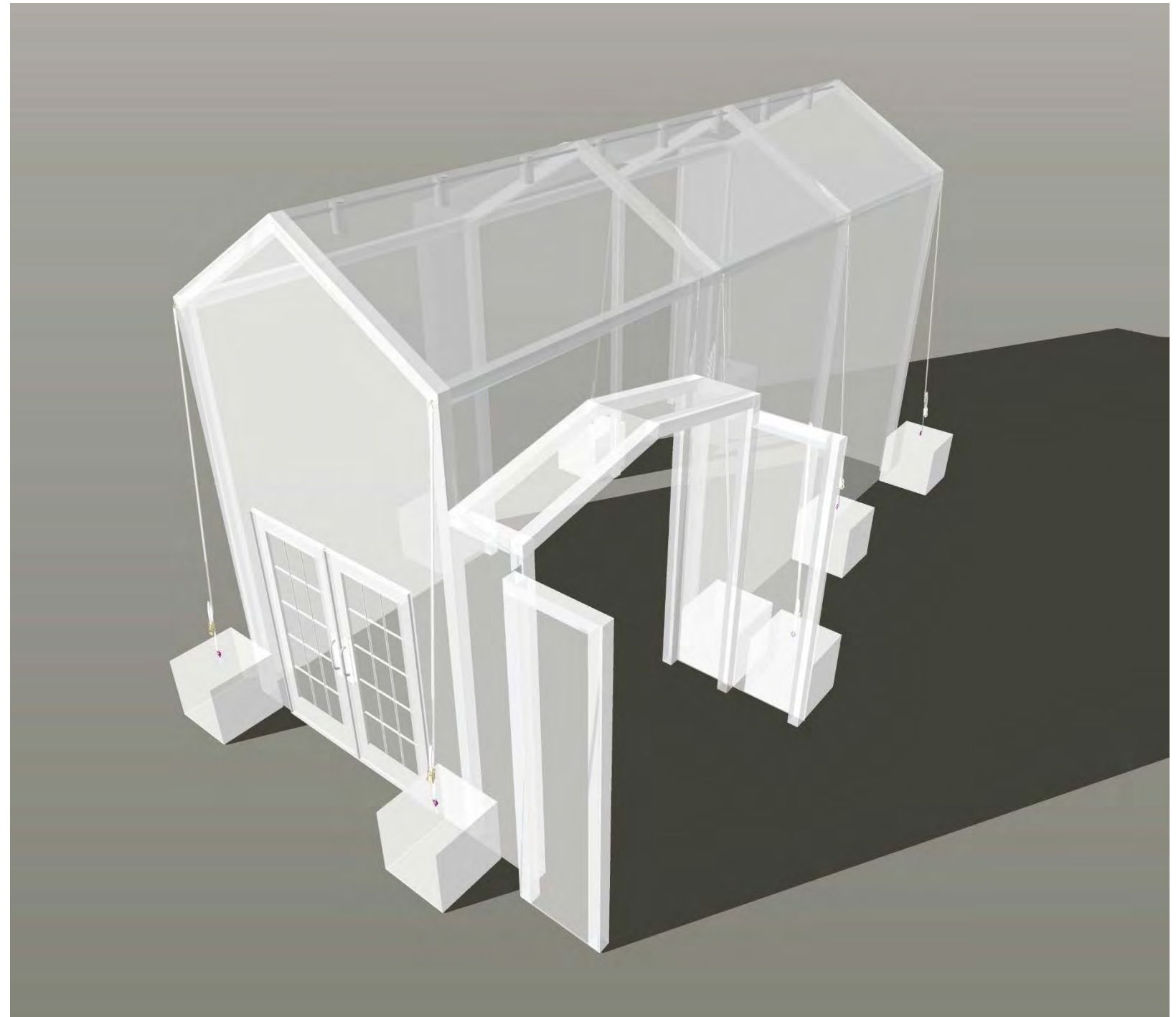
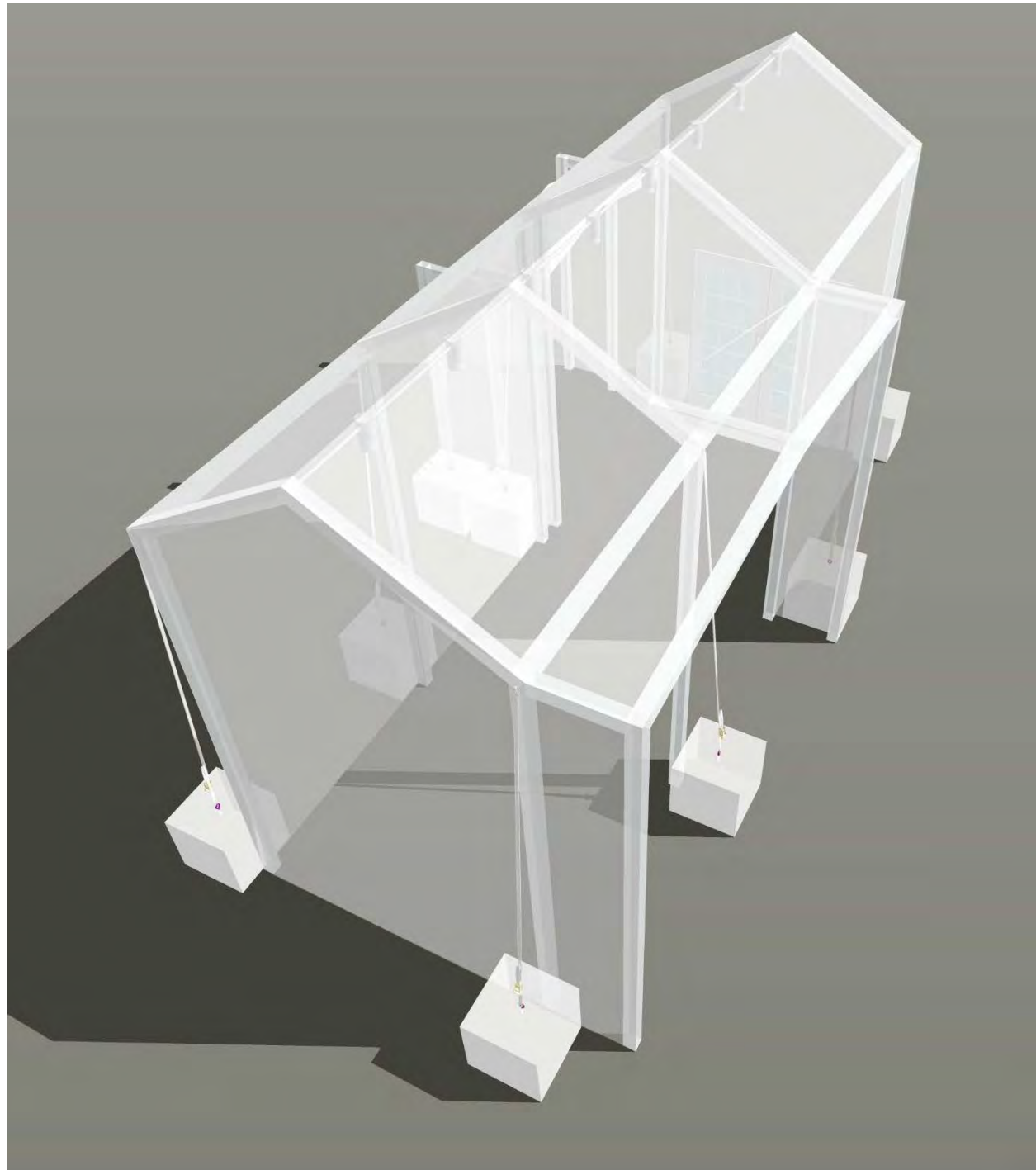
IMAGING TRAILER



IMAGING TRAILER



MODEL OF TENT



IMAGING TRAILER WITH NEW LANDSCAPING



IMAGING TRAILER WITH NEW LANDSCAPING



IMAGING TRAILER WITH NEW LANDSCAPING



IMAGING TRAILER / TENT



IMAGING TRAILER / TENT



IMAGING TRAILER / TENT



IMAGING TRAILER / TENT



IMAGING TRAILER WITH NEW LANDSCAPING



IMAGING TRAILER / TENT



IMAGING TRAILER / TENT



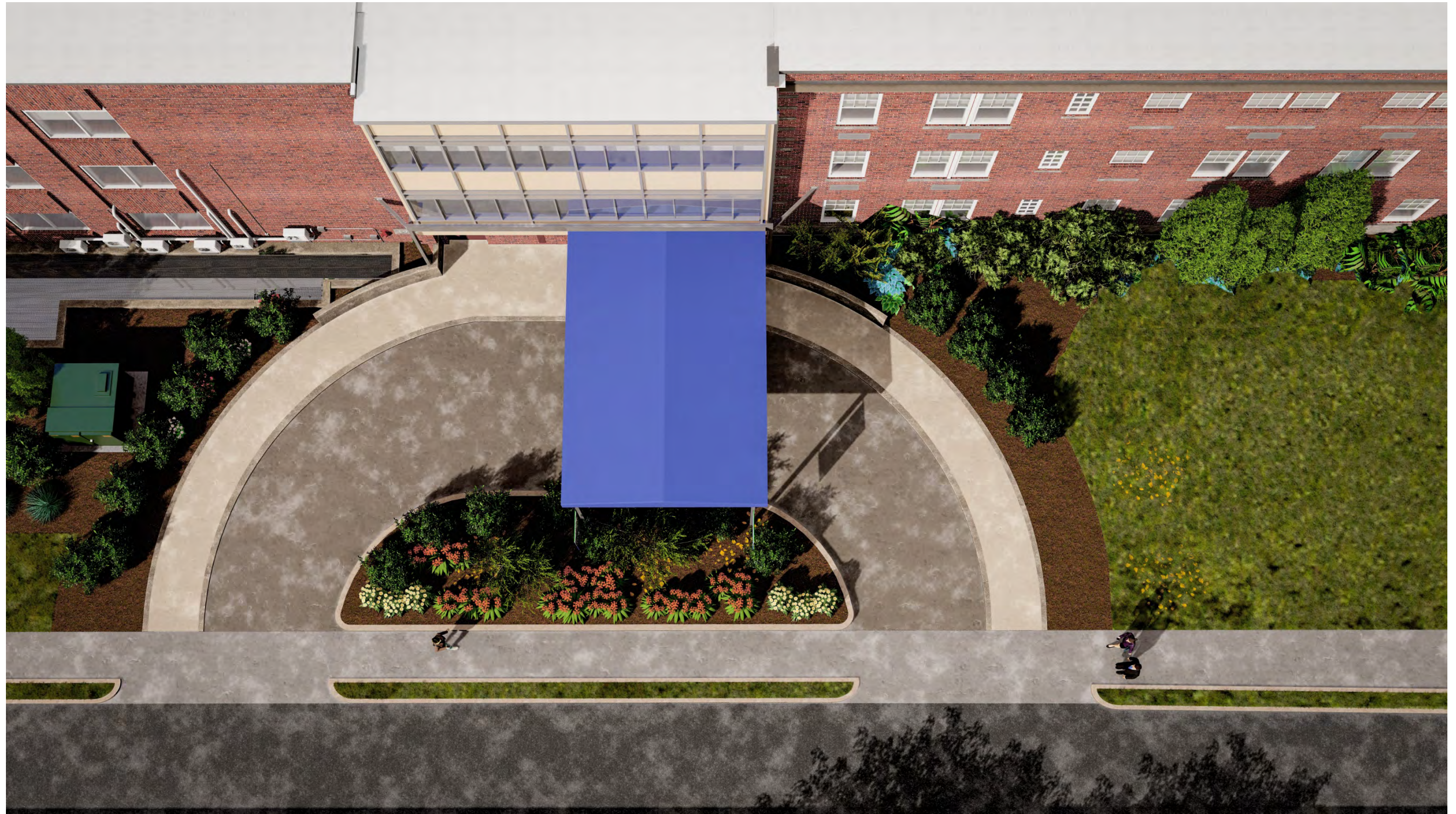
IMAGING TRAILER / TENT



IMAGING TRAILER / TENT



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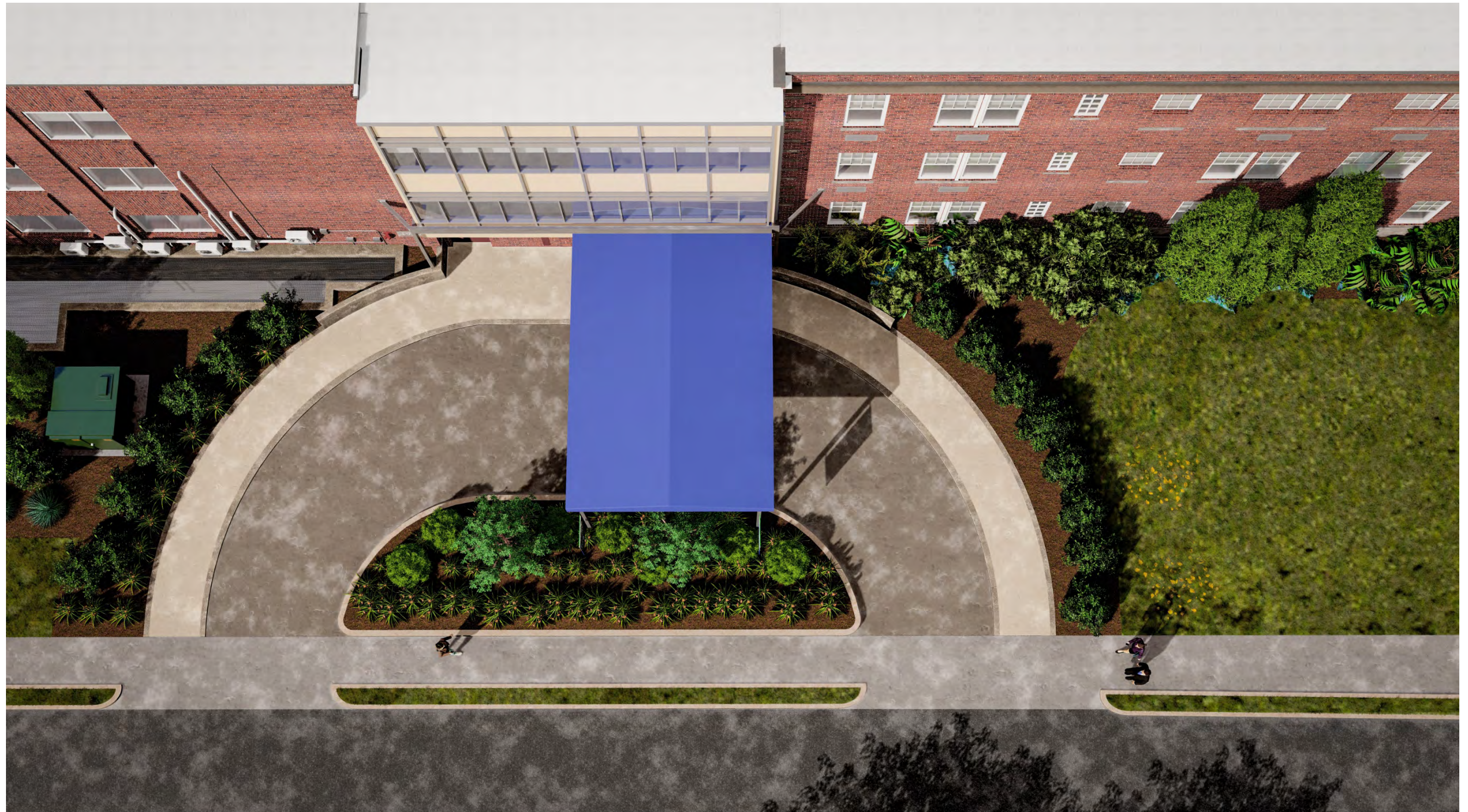
AERIAL – IMAGING TRAILER



AERIAL – IMAGING TRAILER / TENT



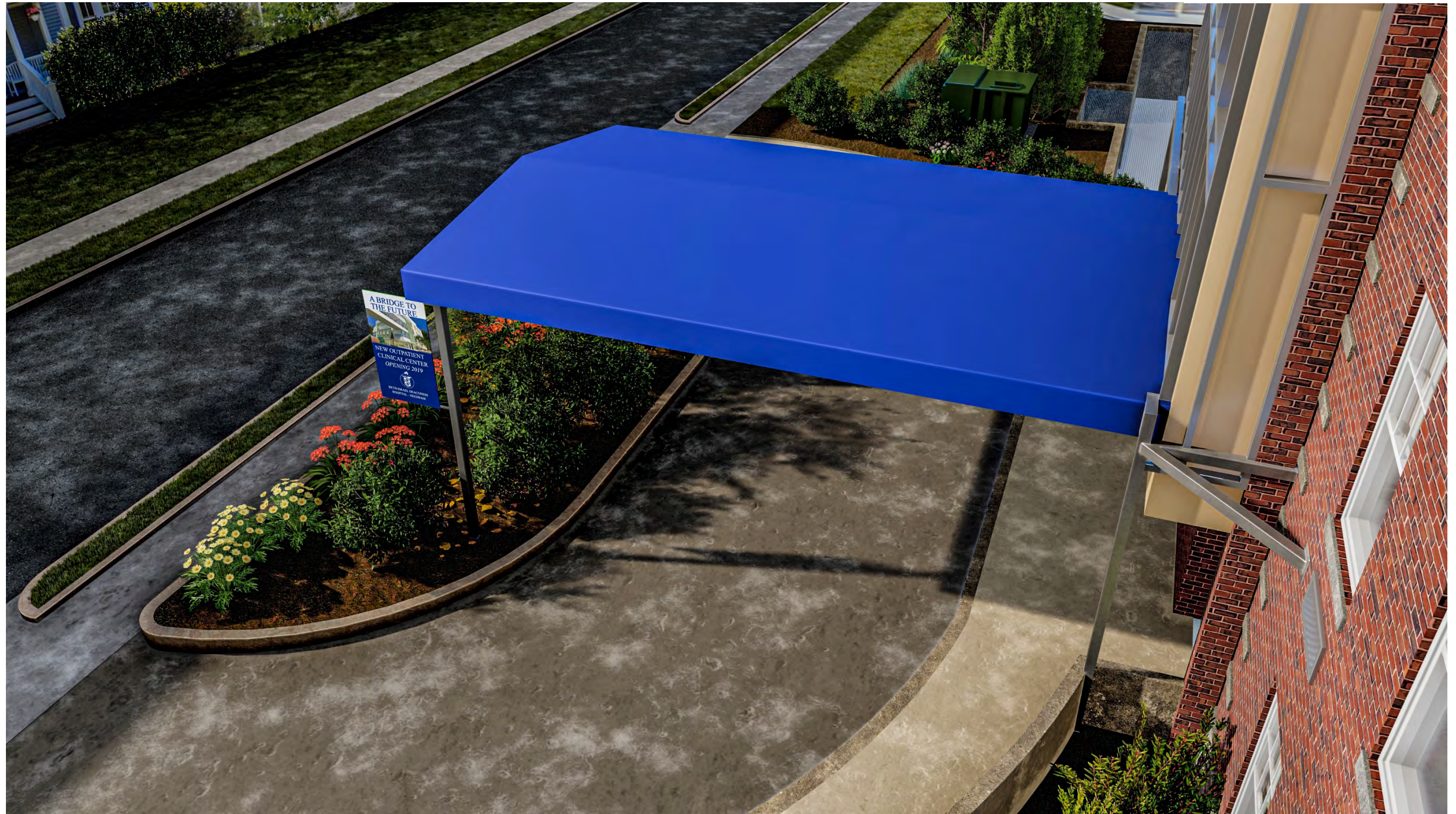
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AERIAL - IMAGING TRAILER / TENT



EXISTING



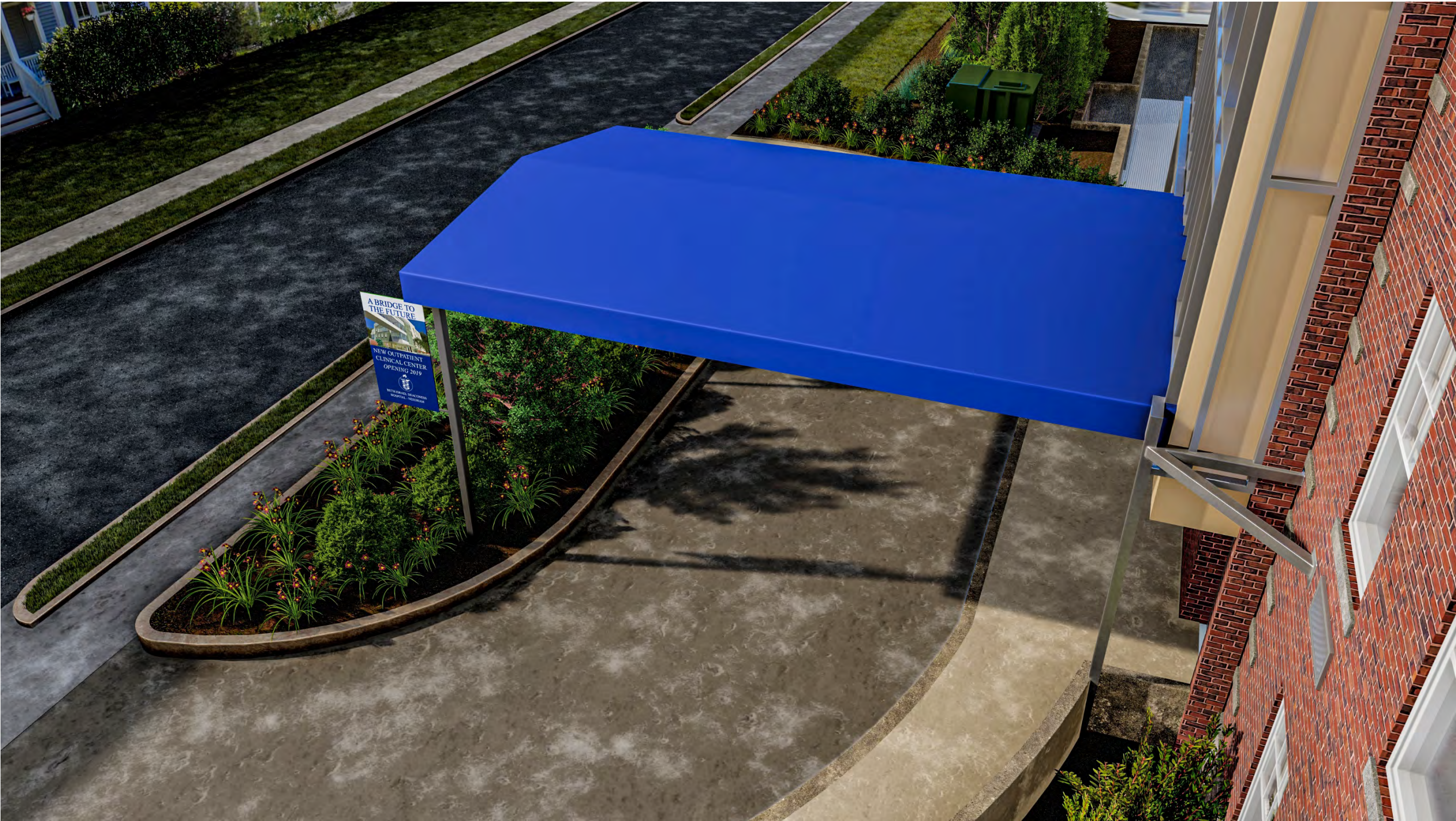
IMAGING TRAILER



IMAGING TRAILER / TENT



POST IMAGING TRAILER / NEW LANDSCAPING



BUILDING ENTRANCE – EXISTING WITHOUT CANOPY



BUILDING ENTRANCE – FROM INSIDE TENT



BUILDING ENTRANCE - LOOKING TOWARD TRAILER ENTRY



INSIDE TENT – LOOKING AT TRAILER ENTRY



INSIDE TENT – LOOKING AT TRAILER ENTRY



POST IMAGING TRAILER / NEW LANDSCAPING



POST IMAGING TRAILER / NEW LANDSCAPING



POST IMAGING TRAILER / NEW LANDSCAPING



ELEVATION DETAIL - LOOKING WEST



LINCOLN STREET

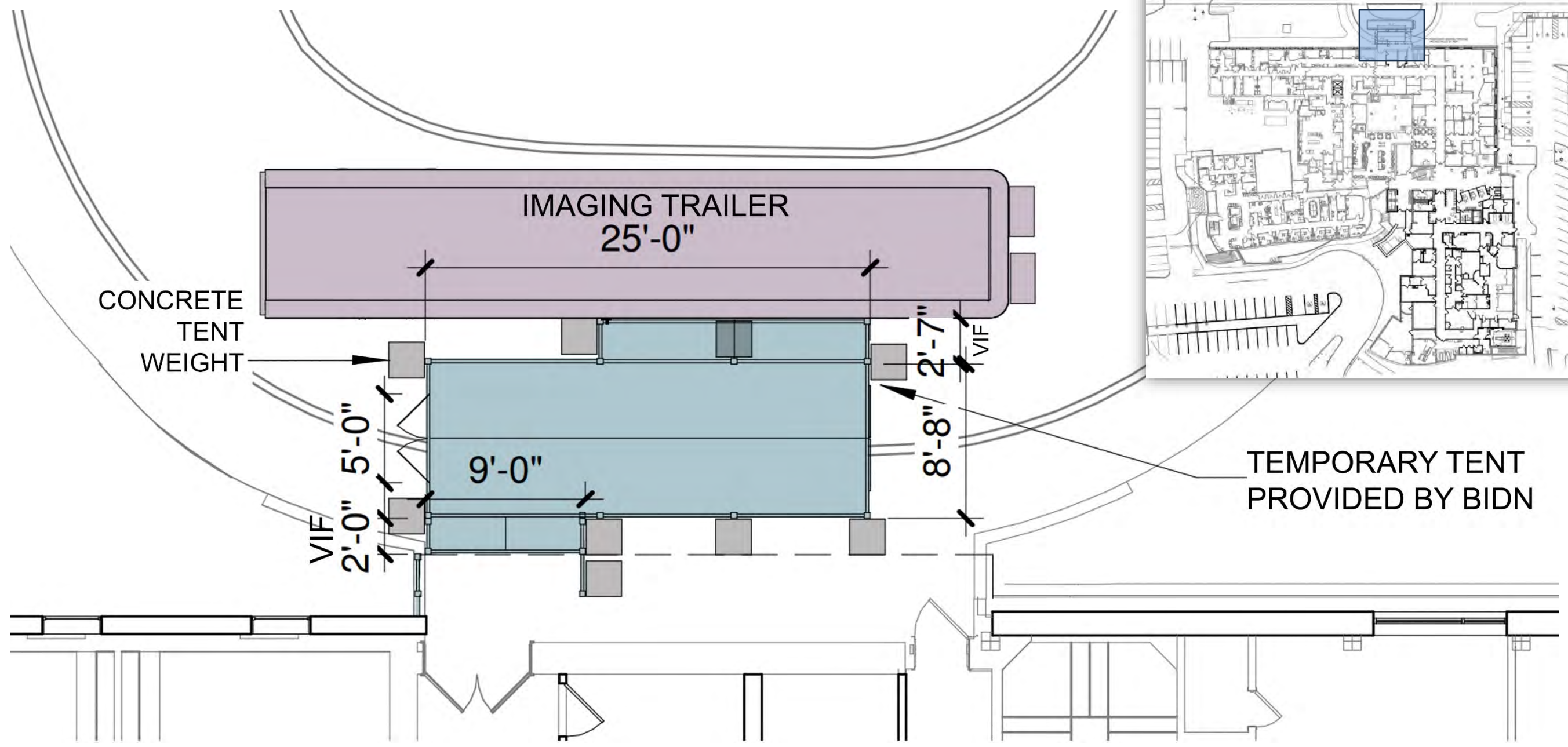
ELEVATION DETAIL - LOOKING SOUTH



ELEVATION DETAIL - LOOKING NORTH



PLAN DETAIL



TEMPORARY TENT PROVIDED BY BIDN

IMAGING TRAILER



EXISTING CONDITIONS



EXISTING CONDITIONS



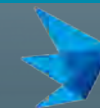
THANK YOU!
Any comments/questions?

Margulies Perruzzi
308 Congress Street
Boston, MA 02210
617.482.3232
mparchitectsboston.com

marguliesperruzzi

Design for the way YOU work.

Beth Israel Lahey Health



Beth Israel Deaconess Needham



TOWN OF NEEDHAM

TOWN HALL
1471 Highland Avenue
Needham, MA 02492-2669

Design Review Board

April 8, 2024

Memo: Amended Site Plan Review, 148 Chestnut Street

The proposal is to install a prefabricated mobile imaging trailer while renovating the existing imaging spaces inside the hospital. They will also install a tent structure to connect the trailer to the existing hospital doors. The timing is for approximately 6 months.

The location is in an existing elliptical driveway on Lincoln Street. There is a canopy over the entrance that will be removed. There are also low concrete walls along the drive and planting bed that will be mostly removed. The plantings will be replaced with a more robust landscaping plan. The trailer installation will require removal of a tree on the left of the driveway. Most of the landscaping will be installed after the trailer is put in place. The tree will be replaced after removal of the temporary structure because the truck will need to drive through that area.

The tent structure encloses the path from the hospital, stairs to the trailer, and a lift to the stair landing.

The applicant did not have the information on the noise level of the unit's generator. The use is "office hours", it will not be used at night, so should have minimal impact on the neighbors. There are doors to the sidewalk on the tent structure, but access is from the hospital, there is no walk-up traffic on Lincoln Street.

The Board approves of the temporary mobile trailer installation and the tent structure. The design is simple and unobtrusive, and it is a relatively short time frame. The landscaping changes will be an improvement over the existing. There was a discussion of the planting choices, questioning the size of one of the plants chosen. The applicant noted the sizes listed are all installed sizes, they recognize that some will grow to a larger size, and they took that into account in their design choices.

The Board approves of the modifications to the existing site plan.

End of notes.

From: [Edward Olsen](#)
To: [Alexandra Clee](#)
Subject: RE: Request for comment - BID-Needham. temporary trailer, landscaping
Date: Tuesday, April 16, 2024 1:50:17 PM

Hi Alex,

I have no issues with this special permit. I would like to remind the hospital that they have still, years later, yet to revisit their landscaping site plan. We met with them years ago to point out the diseased and dying landscaping, in particular by their staff parking on Chesnut St., and nothing has been done. Worse yet this landscaping continues to be neglected and act as an eyesore for our business frontage along one of our main roads. Is there anyway to bring this issue back to the forefront with them?

Thanks,

Eddie

From: Alexandra Clee <aclee@needhamma.gov>
Sent: Tuesday, April 16, 2024 1:27 PM
To: Joseph Prondak <jprondak@needhamma.gov>; Thomas Ryder <tryder@needhamma.gov>; John Schlittler <JSchlittler@needhamma.gov>; Tara Gurge <TGurge@needhamma.gov>; Timothy McDonald <tmcdonald@needhamma.gov>; Tom Conroy <TConroy@needhamma.gov>; Carys Lustig <clustig@needhamma.gov>
Cc: Elisa Litchman <elitchman@needhamma.gov>; Lee Newman <LNewman@needhamma.gov>; Justin Savignano <jsavignano@needhamma.gov>; Donald Anastasi <DAnastasi@needhamma.gov>; Jay Steeves <steevesj@needhamma.gov>; Ronnie Gavel <rgavel@needhamma.gov>; Edward Olsen <eolsen@needhamma.gov>
Subject: Request for comment - BID-Needham. temporary trailer, landscaping

<< File: all application Materials_BID 2024.pdf >>

Dear all,

We have received the attached application materials for the proposal to the Petitioner to construct a temporary addition to the Hospital at the former emergency room entrance on Lincoln Street to house medical imaging services during the renovation of the nuclear medicine suite. It is anticipated that the structure will remain for approximately six months. More information can be found in the attachments.

The Planning Board has scheduled this matter for May 14, 2024. Please send your comments **by Wednesday May 8, 2024**, at the latest.

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3. Letter from Attorney Evans Huber, dated April 11, 2024.
4. Plans entitled "Imagining Trailer," prepared by vhb, consisting of 5 sheets: Sheet 1, Sheet C-1.01, entitled "Legend and General notes," dated March 27, 2024; Sheet 2, Sheet C-2.01, entitled "Existing Conditions Plan," dated March 27, 2024; Sheet 3, Sheet C-3.01, entitled "Interim Condition: Trailer Site and Landscape Pla," dated March 27, 2024; Sheet 4, Sheet C-3.02, entitled "Future Condition: Restoration Site and Landscape Plan," dated March 27, 2024; Sheet 5, Sheet C-4.01, entitled "Site Details," dated March 27, 2024.
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Thank you, alex.

Alexandra Clee

Assistant Town Planner

Needham, MA

781-455-7550 ext. 271

www.needhamma.gov/planning

From: [Joseph Prondak](#)
To: [Alexandra Clee](#); [Thomas Ryder](#); [John Schlittler](#); [Tara Gurge](#); [Timothy McDonald](#); [Tom Conroy](#); [Carys Lustig](#)
Cc: [Elisa Litchman](#); [Lee Newman](#); [Justin Savignano](#); [Donald Anastasi](#); [Jay Steeves](#); [Ronnie Gavel](#); [Edward Olsen](#)
Subject: RE: Request for comment - BID-Needham. temporary trailer, landscaping
Date: Wednesday, April 17, 2024 12:08:18 PM

Hi Alex,

From a zoning perspective, I have no issues with this proposal. It is temporary and is something that is done at hospitals throughout Massachusetts when the need arises to renovate their existing MRI facilities.

From a Building Code perspective, the plans need to clearly show that they will not be impeding existing egress facilities from the hospital building, the need to provide access to the trailer to persons with ability challenges, whether by ramp or mechanical chair lift and if the trailer becomes "attached" to the existing building by means of an enclosure, they will need to provide fire sprinkler protection.

Please let me know if you or the Board have any questions.

Sincerely,

Joe Prondak

Needham Building Commissioner

781-455-7550 x308

From: Alexandra Clee <aclee@needhamma.gov>

Sent: Tuesday, April 16, 2024 1:27 PM

To: Joseph Prondak <jprondak@needhamma.gov>; Thomas Ryder <tryder@needhamma.gov>; John Schlittler <JSchlittler@needhamma.gov>; Tara Gurge <TGurge@needhamma.gov>; Timothy McDonald <tmcdonald@needhamma.gov>; Tom Conroy <TConroy@needhamma.gov>; Carys Lustig <clustig@needhamma.gov>

Cc: Elisa Litchman <elitchman@needhamma.gov>; Lee Newman <LNewman@needhamma.gov>; Justin Savignano <jsavignano@needhamma.gov>; Donald Anastasi <DAnastasi@needhamma.gov>; Jay Steeves <steevesj@needhamma.gov>; Ronnie Gavel <rgavel@needhamma.gov>; Edward Olsen <eolsen@needhamma.gov>

Subject: Request for comment - BID-Needham. temporary trailer, landscaping

<< File: all application Materials_BID 2024.pdf >>

Dear all,

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medicine suite. It is anticipated that the structure will remain for approximately six months. More information can be found in the attachments.

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Existing Conditions; Sheet 41, Existing Conditions; Sheet 42, end presentation.

Thank you, alex.

Alexandra Clee

Assistant Town Planner

Needham, MA

781-455-7550 ext. 271

www.needhamma.gov/planning

From: [Tom Conroy](#)
To: [Alexandra Clee](#)
Subject: RE: Request for comment - BID-Needham. temporary trailer, landscaping
Date: Thursday, April 18, 2024 9:26:17 AM

Hi Alex,

I believe they did this a few years ago also. Fire has no issues.

Thank you.

From: Alexandra Clee <aclee@needhamma.gov>

Sent: Tuesday, April 16, 2024 1:27 PM

To: Joseph Prondak <jprondak@needhamma.gov>; Thomas Ryder <tryder@needhamma.gov>; John Schlittler <JSchlittler@needhamma.gov>; Tara Gurge <TGurge@needhamma.gov>; Timothy McDonald <tmcDonald@needhamma.gov>; Tom Conroy <TConroy@needhamma.gov>; Carys Lustig <clustig@needhamma.gov>

Cc: Elisa Litchman <elitchman@needhamma.gov>; Lee Newman <LNewman@needhamma.gov>; Justin Savignano <jsavignano@needhamma.gov>; Donald Anastasi <DAnastasi@needhamma.gov>; Jay Steeves <steevesj@needhamma.gov>; Ronnie Gavel <rgavel@needhamma.gov>; Edward Olsen <eolsen@needhamma.gov>

Subject: Request for comment - BID-Needham. temporary trailer, landscaping

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Thank you, alex.

Alexandra Clee

Assistant Town Planner

Needham, MA

781-455-7550 ext. 271

www.needhamma.gov/planning

From: [Tara Gurge](#)
To: [Alexandra Clee](#)
Cc: [Lee Newman](#)
Subject: FW: Request for comment - BID-Needham. temporary trailer, landscaping
Date: Monday, May 6, 2024 10:35:55 AM
Attachments: [all application Materials BID 2024.pdf](#)

Hello Alex –

Here are the Public Health Divisions comments for the proposed temporary trailer for Beth Israel Deaconess Hospital.

The following is a list of Public Health Division comments regarding this proposal:

- If new exterior lighting is installed around this trailer, the lights shall not cause a public health nuisance, and should be directed down towards the ground in order to prevent the risk of bright light migrating into other neighboring residential properties across the street.
- Please ensure that if this trailer is supplied with a generator, that the noise produced should be minimal, and muffled if necessary, and not cause a public health nuisance noise concern for the abutting neighbors.
- Will a restroom or handwashing facilities be available in this trailer? If so, proper routine pumping of holding tanks will need to be set up and disposed of with a contracted permitted septage waste hauler. (The Public Health Division can provide you with a current list of permitted waste haulers if needed.)

Please feel free to contact the Public Health Division office if you have any additional questions on those requirements.

Thanks,

TARA E. GURGE, R.S., C.E.H.T., M.S. (she/her/hers)

ASSISTANT PUBLIC HEALTH DIRECTOR

Needham Public Health Division

Health and Human Services Department

178 Rosemary Street

Needham, MA 02494

Ph- (781) 455-7940; Ext. 211/Fax- (781) 455-7922

Mobile- (781) 883-0127

Email - tgurge@needhamma.gov

Web- www.needhamma.gov/health



STATEMENT OF CONFIDENTIALITY

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[Follow Needham Public Health on Twitter!](#)

From: Alexandra Clee <aclee@needhamma.gov>

Sent: Tuesday, April 16, 2024 1:27 PM

To: Joseph Prondak <jprondak@needhamma.gov>; Thomas Ryder <tryder@needhamma.gov>; John Schlittler <JSchlittler@needhamma.gov>; Tara Gurge <TGurge@needhamma.gov>; Timothy McDonald <tmcdonald@needhamma.gov>; Tom Conroy <TConroy@needhamma.gov>; Carys Lustig <clustig@needhamma.gov>

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Subject: Request for comment - BID-Needham. temporary trailer, landscaping

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Thank you, alex.

Alexandra Clee

Assistant Town Planner

Needham, MA

781-455-7550 ext. 271

www.needhamma.gov/planning

From: [Thomas Ryder](#)
To: [Alexandra Clee](#); [Justin Savignano](#); [John Schlittler](#)
Cc: [Lee Newman](#)
Subject: RE: Request for comment - BID-Needham. temporary trailer, landscaping
Date: Wednesday, May 8, 2024 7:16:29 PM

We have no comment or objection

Thomas A Ryder, PE

Town Engineer

Needham Department of Public Works
500 Dedham Avenue
Needham, MA 02492
Telephone: 781-455-7538
Fax: 781-449-9023
E-mail: Tryder@needhamma.gov
Website: www.needhamma.gov

From: Alexandra Clee <aclee@needhamma.gov>
Sent: Wednesday, May 8, 2024 3:24 PM
To: Thomas Ryder <tryder@needhamma.gov>; Justin Savignano <jsavignano@needhamma.gov>; John Schlittler <JSchlittler@needhamma.gov>
Cc: Lee Newman <LNewman@needhamma.gov>
Subject: FW: Request for comment - BID-Needham. temporary trailer, landscaping

Please let me know if you have any comments about this proposal.

Thanks!

Alexandra Clee

Assistant Town Planner

Needham, MA

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From: Alexandra Clee
Sent: Tuesday, April 16, 2024 1:27 PM
To: Joseph Prondak <jprondak@needhamma.gov>; Thomas Ryder <tryder@needhamma.gov>; John Schlittler <JSchlittler@needhamma.gov>; Tara Gurge

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5. Plans entitled "Imagining Trailer," prepared by Margulies Perruzzi, 308 Congress Street, Boston, MA 02210, consisting of 2 sheets: Sheet 1, Sheet L-101, entitled "Site plan," dated January 24, 2024; Sheet 2, Sheet A-300, entitled "Exterior Elevations," dated January 25, 2024.
6. Renderings entitled "Imagining Trailer," prepared by Margulies Perruzzi, 308 Congress Street, Boston, MA 02210, consisting of 42 sheets, dated March 27, 2024: Sheet 1, cover sheet; Sheet 2, Existing; Sheet 3, Imaging Trailer; Sheet 4, Imaging Trailer; Sheet 5, Model of Tent; Sheet 6, Imaging Trailer with New Landscaping; Sheet 7, Imaging Trailer with New Landscaping; Sheet 8, Imaging Trailer with New Landscaping; Sheet 9, Imaging Trailer / Tent;

Sheet 10, Imaging Trailer / Tent; Sheet 11, Imaging Trailer / Tent; Sheet 12, Imaging Trailer / Tent; Sheet 13, Imaging Trailer with New Landscaping; Sheet 14, Imaging Trailer / Tent; Sheet 15, Imaging Trailer / Tent; Sheet 16, Imaging Trailer / Tent; Sheet 17, Imaging Trailer / Tent; Sheet 18, Aerial – Existing; Sheet 19, Aerial – Imaging Trailer; Sheet 20, Aerial – Imaging Trailer / Tent; Sheet 21, Aerial – Imaging Trailer / New Landscaping; Sheet 22, Aerial – Imaging Trailer / Tent; Sheet 23, Existing; Sheet 24, Imaging Trailer; Sheet 25, Imaging Trailer / Tent; Sheet 26, Post Imagine Trailer / New Landscaping; Sheet 27, Building Entrance – Existing Without Canopy; Sheet 28, Building Entrance – From Inside Tent; Sheet 29, Building Entrance – Looking Toward Trailer Entry; Sheet 30, Inside Tent – Looking at Trailer Entry; Sheet 31, Inside Tent – Looking at Trailer Entry; Sheet 32, Post Imaging Trailer / New Landscaping; Sheet 33, Post Imaging Trailer / New Landscaping; Sheet 34, Post Imaging Trailer / New Landscaping; Sheet 35, Elevation Detail, Looking West; Sheet 36, Elevation Detail, Looking South; Sheet 37, Elevation Detail, Looking North; Sheet 38, Plan Detail; Sheet 39, Imaging Trailer; Sheet 40, Existing Conditions; Sheet 41, Existing Conditions; Sheet 42, end presentation.

Thank you, alex.

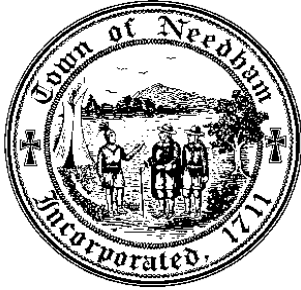
Alexandra Clee

Assistant Town Planner

Needham, MA

781-455-7550 ext. 271

www.needhamma.gov/planning



PLANNING & COMMUNITY DEVELOPMENT
PLANNING DIVISION

AMENDMENT TO DECISION

May 14, 2024

**Major Project Site Plan Special Permit
SPMP No. 01-02**

**Finitumus Associates Limited Partnership
464 Hillside Avenue, Needham, MA**

(Original Decision dated June 5, 2001, amended October 21, 2003, May 10, 2004 and February 9, 2010)

DECISION of the Planning Board (hereinafter referred to as the Board) on the petition of Finitumus Associates Limited Partnership c/o Petrini Corporation, 187 Rosemary Street, Needham, MA (hereinafter the Petitioner), for property located at 464 Hillside Avenue, Needham, MA, shown on Assessor's Map No. 100 as Parcel 4 containing 77,336 square feet and is located in the Industrial Zoning District.

This Decision is in response to an application submitted to the Board on March 19, 2024, by the Petitioner for: (1) an amendment to a Major Project Site Plan Review Special Permit issued by the Needham Planning Board on June 5, 2001, amended October 21, 2003, May 10, 2004 and February 9, 2010, under Section 7.4 of the Needham Zoning By-Law and Major Project Site Plan Review Special Permit No. 01-02, Section 4.2; (2) a Special Permit under Section 5.1.1.5 of the By-Law to waive strict adherence with the requirements of Section 5.1.2 (Required Parking) and Section 5.1.3 (Off-Street Parking Requirements).

The Petitioner has made application to the Board under Section 7.4 of the By-Law to alter the mix of allowable uses in the building from 14,510 square feet of medical/dental space and 32,307 square feet of office space to a new mix of 15,325 square feet of medical/dental space and 31,492 square feet of office space. The requested Major Project Site Plan Review Special Permit Amendment would, if granted, permit the Petitioner to convert approximately 815 square feet of general office space to medical office. This conversion will increase the parking requirement at the site by one parking space. A parking waiver increase from the existing waiver of 15 spaces to 16 spaces is requested.

After causing notice of the time and place of the public hearing and of the subject matter thereof to be published, posted and mailed to the Petitioner, abutters and other parties in interest as required by law, the hearing was called to order by the Chairperson, Adam Block on Wednesday, April 24, 2024 at 7:00 p.m. in the Charles River Room, Needham Public Services Administration Building, 500 Dedham Avenue, Needham, MA, as well as by Zoom Web ID Number 880 4672 5264. Board members Adam Block, Paul S. Alpert, Natasha Espada, Artie Crocker and Justin McCullen were present throughout the March 19, 2024 proceedings. The record of the proceedings and the submission upon which this Decision is based may be referred to in the office of the Town Clerk or the office of the Board.

Submitted for the Board's deliberation prior to the close of the public hearing were the following exhibits:

- Exhibit 1 - Application for the Amendment to Major Project Special Permit No. 01-02 dated March 19, 2024.
- Exhibit 2 - Letter from Attorney Evans Huber, dated March 14, 2024.
- Exhibit 3 - Parking Evaluation, prepared by MDM, Transportation Consultants, Inc., dated March 12, 2024.
- Exhibit 4 - Plan Sheet 1, prepared by Kelly Engineering Group, 0 Campanelli Drive, Braintree, MA 02184, entitled "Plan to Accompany Special permit," dated December 5, 2023.
- Exhibit 5 - Interdepartmental Communication (IDC) to the Board from Joe Prondak, Needham Building Commissioner, dated March 28, 2024; IDC to the Board from Edward Olsen, Superintendent of Parks and Forestry, dated March 28, 2024; IDC to the Board from Tara Gurge, Assistant Public Health Director, dated March 28, 2024; IDC to the Board from Justin Savignano, dated April 16, 2024; IDC to the Board from Chief Tom Conroy, Needham Fire Department, dated April 16, 2024; and IDC to the Board from Chief John Schlittler, Needham Police Department, dated April 22, 2024.

FINDINGS AND CONCLUSIONS

Based upon its review of the exhibits and the record of the proceedings, the Board confirmed its findings and conclusions as contained in its original Decision Major Project Site Plan Review Special Permit No. 01-02 dated June 5, 2001, amended October 21, 2003, May 10, 2004 and February 9, 2010, except as modified herein.

- 1.1 The Premises is located in the Industrial Zoning District, on the eastern side of Hillside Avenue. The property is identified as Parcel 100 as Parcel 4 containing 77,336 square feet and is located in the Industrial Zoning District .
- 1.2 The building at 464 Hillside contains an office building housing a mix of general office and medical office uses, totaling 46,817 square feet. There are presently 166 combined exterior and covered parking spaces at the property.
- 1.3 The Petitioner proposes to change the use of approximately 815 square feet of space within the building from general office to medical office, which will increase the parking requirement calculated pursuant to Section 5.1.2 of the By-Law by one parking space.
- 1.4 The Petitioner requests an amendment to the existing Special Permit, pursuant to Section 5.1.1.5 of the Zoning By-Law, to waive strict adherence to the off-street parking requirements of Section 5.1.2 of the Zoning By-Law, by increasing the current waiver of 15 spaces to 16 spaces.
- 1.5 A parking analysis prepared by MDM Transportation Consultants, Inc, (MDM), and described in Exhibit 3, evaluated peak parking demands for the property, assuming conversion of approximately 815± square feet of office space from its currently permitted status as office use to medical office use. MDM's determination of total actual parking demand for the property is based on a recent survey of current parking activity generated by the existing tenants, assumed full occupancy of the currently vacant space(s) if used for their currently permitted uses, and the assumed conversion of 815 square feet of general office space to medical office use. The analysis concludes that the current parking supply of 166 spaces will accommodate peak demands for the entire building under the

proposed use scenario, and in fact will result in a projected surplus of 25 or more spaces at full building occupancy.

DECISION

THEREFORE, the Board voted 5-0 to GRANT: (1) an amendment to a Major Project Site Plan Review Special Permit No. 01-02 issued by the Needham Planning Board on June 5, 2001, amended October 21, 2003, May 10, 2004 and February 9, 2010, under Section 7.4 of the Needham Zoning By-Law and Major Project Site Plan Review Special Permit No. 01-02, Section 4.2; and (2) a Special Permit under Section 5.1.1.5 of the By-Law to waive strict adherence with the requirements of Section 5.1.2 (Required Parking) and Section 5.1.3 (Off-Street Parking Requirements); subject to the following plan modifications, conditions and limitations.

PLAN MODIFICATIONS

Prior to the issuance of a building permit or the start of any construction on the site, the Petitioner shall cause the Plan to be revised to show the following additional, corrected, or modified information. The Building Commissioner shall not issue any building permit, nor shall he permit any construction activity on the site to begin on the site until and unless he finds that the Plan is revised to include the following additional corrected or modified information. Except where otherwise provided, all such information shall be subject to the approval of the Building Commissioner. Where approvals are required from persons other than the Building Commissioner, the Petitioner shall be responsible for providing a written copy of such approvals to the Building Commissioner before the Commissioner shall issue any building permit or permit for any construction on the site. The Petitioner shall submit nine copies of the final Plans as approved for construction by the Building Commissioner to the Board prior to the issuance of a Building Permit.

2.0 No Plan modifications are required.

CONDITIONS

The conditions contained in Major Project Site Plan Review Special Permit No. 01-02 dated June 5, 2001, amended October 21, 2003, May 10, 2004 and February 9, 2010, are ratified and confirmed except as modified herein.

- 3.1 The waiver of parking requirements granted by this Decision is contingent upon the premises being used as described in this Decision and in accordance with the representations of the Petitioner, which formed the basis of the findings of fact and other conditions stated herein.
- 3.2 The building shall contain 46,817 square foot of occupied space of which 31,492 square feet shall be dedicated to office use and 15,325 square feet shall be dedicated to medical/dental office use as shown on the plan. The Petitioner's request to convert approximately 815 square feet of general office space to medical office space is granted.

This approval shall be recorded in the Norfolk District Registry of Deeds. This Special Permit shall not take effect until a copy of this Decision bearing the certification of the Town Clerk that twenty (20) days have elapsed after the Decision has been filed in the Town Clerk's office or that if such appeal has been filed, that it has been dismissed or denied is recorded with Norfolk District Registry of Deeds and until the Petitioner has delivered a certified copy of the recorded document to the Board.

The provisions of this Special Permit shall be binding upon every owner or owner of the lots and the executors, administrators, heirs, successors and assigns of such owners, and the obligations and restrictions herein set forth shall run with the land, as shown on the Plan, as modified by this Decision, in full force and effect for the benefit of and enforceable by the Town of Needham.

Any person aggrieved by this Decision may appeal pursuant to General Laws, Chapter 40A, Section 17, within twenty (20) days after filing of this Decision with the Needham Town Clerk.

Witness our hands this 14th day of May, 2024.

NEEDHAM PLANNING BOARD

Natasha Espada, Chair

Artie Crocker

Paul S. Alpert

Adam Block

Justin McCullen

COMMONWEALTH OF MASSACHUSETTS

Norfolk, ss _____ 2024

On this ____ day of _____, 2024, before me, the undersigned notary public, personally appeared _____, one of the members of the Planning Board of the Town of Needham, Massachusetts, proved to me through satisfactory evidence of identification, which was _____, to be the person whose name is signed on the proceeding or attached document, and acknowledged the foregoing to be the free act and deed of said Board before me.

Notary Public name:
My Commission Expires: _____

TO WHOM IT MAY CONCERN: This is to certify that the 20-day appeal period on the approval of the Project proposed by Finitumus Associates Limited Partnership c/o Petrini Corporation, 187 Rosemary Street, Needham, MA , for Property located at 464 Hillside Avenue, Needham, MA, has passed,

____ and there have been no appeals filed in the Office of the Town Clerk or
____ there has been an appeal filed.

Date

Louise Miller, Town Clerk

Copy sent to:

Petitioner-Certified Mail # _____
Town Clerk
Building Commissioner
Conservation Commission
Parties in Interest

Board of Selectmen
Engineering
Fire Department
Police Department

Board of Health
Director, PWD
Design Review Board
Evans Huber, Attorney

May 7, 2024

BY EMAIL

Lee Newman, Director of Planning and Community Development
Town of Needham
1471 Highland Avenue
Needham, MA 02492

**Re: Application to Amend Major Project Site Plan Special Permit No. 2004-01
High School Tennis Court Renovation**

Dear Lee:

On behalf of the Applicant, I respectfully request that the public hearing on this application, which is currently scheduled to resume on May 14, 2024, be continued to the Planning Board's June 4, 2024 meeting.

Thank you very much, and please let me know if I can provide any additional information.

Sincerely,



Christopher H. Heep

cc: S. Mulroy
J. Charwick
A. Rrapi

TOWN OF NEEDHAM
MASSACHUSETTS



PLANNING BOARD

500 Dedham Avenue
Needham, MA 02492
781-455-7550

APPLICATION FOR ENDORSEMENT OF PLAN
BELIEVED NOT TO REQUIRE APPROVAL

Submit three (3) copies. One copy to be filed with the Planning Board and one with the Town Clerk as required by Section 81-P, Chapter 41 of the General Laws. This application must be accompanied by the **Original Tracing and three (3) copies of the plan.**

To the Planning Board:

The undersigned, believing that the accompanying plan of land in the Town of Needham does not constitute a subdivision within the meaning of the Subdivision Control Law, for the reasons outlined below, herewith submits said plan for a determination and endorsement that Planning Board approval under the Subdivision Control Law is not required.

1. Name of Applicant Haven Development, LLC
Address 42 Washington St Suite 3 Wellesley MA 02481
2. Name of Engineer or Surveyor Bradley Simonelli, Field Resources, Inc.
Address 103 Lawton Road and 133 South Street
3. Deed of property recorded in Norfolk Registry,
Book 41361, Page 102 and Book 41576, Page 185 and Book 41697,
4. Location and description of property 103 Lawton Road and 133 South Street Page 573

5. Reasons approval is not required (check as applicable):

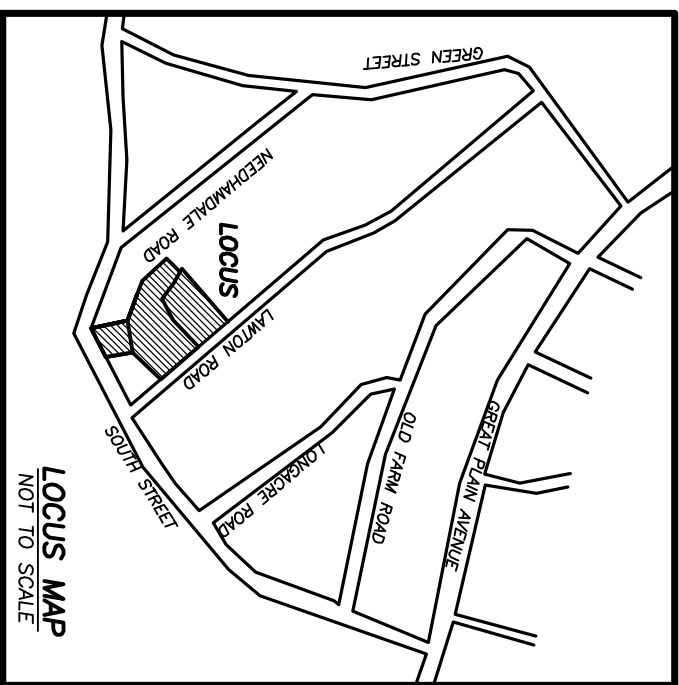
- a) Every lot shown has the area and frontage required by the Zoning By-Law on a way, as defined by Section 81-L, Chapter 41 of the General Laws.
- b) Land designated _____ shall not be used as separate building lot(s) but only together with adjacent lots having the required area and frontage.
- c) Lot(s) having less than required frontage or area resulted from a taking for public purpose or have been recorded prior to 3/26/1925, no land is available to make up the deficiency and the frontage and land area of such lots are not being reduced by the plan.
- d) _____

(If the applicant is not the owner, written authorization to act as agent must be attached)

Signature of Applicant [Signature]
 Address 42 Washington St., Wellesley, MA 02481
 By Reid Diamond (agent)

Application accepted this _____ day of _____ 20____
as duly submitted under the rules and regulations of the Planning Board.

By _____



IT IS HEREBY NOTED AND DISCLOSED THAT IN THE EVENT THE DWELLING STRUCTURE ON LOT 204, LOT 205, AND LOT 206 IS NOT RAZED, AS SHOWN, AND EITHER LOT 204, LOT 205 OR LOT 206 ARE TRANSFERRED OR CONVEYED AS A SINGLE LOT, THEN ZONING VIOLATIONS WILL ARISE CONCERNING SAID STRUCTURE BEING OVER THE LINE OF LOT 204, LOT 205, AND LOT 206.

IT IS HEREBY NOTED AND DISCLOSED THAT IN THE EVENT THE DWELLING STRUCTURE ON LOT 203 AND LOT 204 IS NOT RAZED, AS SHOWN, AND EITHER LOT 203 OR LOT 204 ARE TRANSFERRED OR CONVEYED AS A SINGLE LOT, THEN ZONING VIOLATIONS WILL ARISE CONCERNING SAID STRUCTURES BEING OVER THE LINE OF LOT 203 AND LOT 204.

IT IS HEREBY NOTED AND DISCLOSED THAT IN THE EVENT THE GARAGE AND SHED ON LOT 206 ARE NOT RAZED, AS SHOWN, AND LOT 206 IS TRANSFERRED OR CONVEYED AS A SINGLE LOT, THEN ZONING VIOLATIONS WILL ARISE CONCERNING SAID STRUCTURES BEING CONFORMING ACCESSORY USES TO A SINGLE-FAMILY DWELLING.

REFERENCES:
NORFOLK COUNTY REGISTRY OF DEEDS

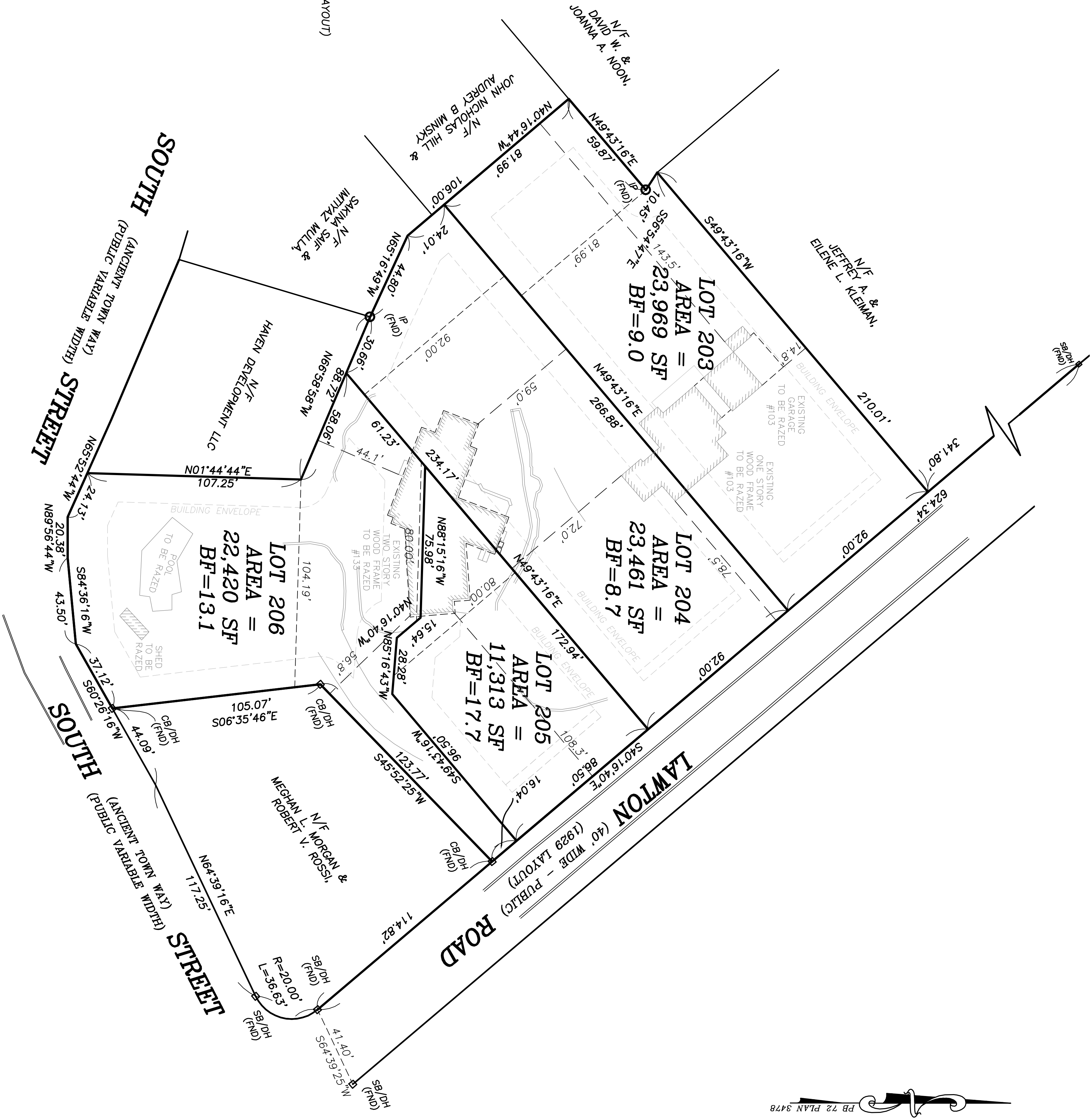
- DEEDS
- BOOK 9321 PAGE 384
 - BOOK 38155 PAGE 191
 - BOOK 41361 PAGE 102
 - BOOK 26949 PAGE 347
 - BOOK 23775 PAGE 098
 - BOOK 23893 PAGE 330
 - PLANS
 - PLAN BOOK 405 PAGE 290(LOCUS)
 - PLAN 868 OF 1958
 - PLAN BOOK 72 PAGE 3478
 - DEED BOOK 1593 PAGE 169
 - DEED BOOK 1842 PAGE 553 (LAWTON LAYOUT)

LEGEND:

- IRON PIPE
- IRON ROD
- MONUMENT
- IP IRON PIPE
- CB CONCRETE BOUND
- SB STONE BOUND
- FND FOUND
- DH DRILL HOLE

ZONING INFORMATION: SINGLE RESIDENCE B (SRB) REQUIRED

	LOT 203	LOT 204	LOT 205	LOT 206
MINIMUM LOT AREA	10,000 SF	23,969 SF	23,461 SF	11,313 SF
MINIMUM BUILDING FOOTPRINT	20 FEET	9.0 FEET	8.7 FEET	13.1 FEET
MINIMUM FRONT YARD SETBACK	20 FEET	92.00 FEET	92.50 FEET	123.13 FEET
MINIMUM SIDE YARD SETBACK	14 FEET	17.7 FEET	13.1 FEET	13.1 FEET
MINIMUM REAR YARD SETBACK	20 FEET	20 FEET	20 FEET	20 FEET
MINIMUM FUR	0.36 IF >11,999 SF	0.36 IF >11,999 SF	0.36 IF >11,999 SF	0.36 IF >11,999 SF
MAXIMUM BUILDING COVERAGE	25%	25%	25%	25%
MAXIMUM BUILDING HEIGHT	35 FEET	35 FEET	35 FEET	35 FEET
MAXIMUM BUILDING HEIGHT	2 1/2 STOREYS	2 1/2 STOREYS	2 1/2 STOREYS	2 1/2 STOREYS



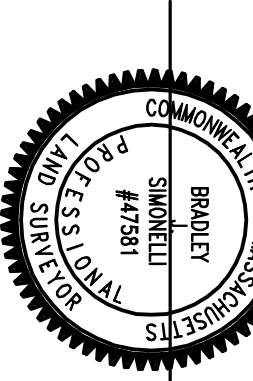
FB 72 PLAN 3478

FOR REGISTRY USE ONLY
APPROVAL UNDER THE SUBDIVISION CONTROL LAW NOT REQUIRED
NEEDHAM PLANNING BOARD

DATE: _____

NO DETERMINATION AS TO COMPLIANCE WITH ZONING REQUIREMENTS IS MADE OR INTENDED.
THE PURPOSE OF THIS PLAN IS TO COMBINE 133 SOUTH STREET AND 103 LAWTON ROAD AND LOT 202 SOUTH STREET AND DIVIDE INTO LOTS 203, 204, 205 AND 206.

I CERTIFY THAT THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.
I CERTIFY THAT THIS PLAN IS BASED UPON AN ACTUAL FIELD SURVEY, AND THE LATEST PLANS AND DEEDS OF RECORD.



APPROVAL NOT REQUIRED
SUBDIVISION PLAN OF LAND
103 LAWTON ROAD & 133 SOUTH STREET
NEEDHAM, MASS.

Field Resources, Inc.
LAND SURVEYORS

MAY 9, 2024 SCALE 1"=30'
P.O. BOX 324 281 CHESTNUT ST.
AUBURN, MA NEEDHAM, MA.
508 832 4332 781 444 5936
fieldresources@hotmail.com

BELLE LANE AGREEMENT
2ND AMENDMENT May __, 2024

Reference is made to Belle Lane Agreement (the “Agreement”) between TOWN OF NEEDHAM, a municipal corporation located in Norfolk County, Massachusetts, acting through its Planning Board (hereinafter referred to as the "TOWN") and Richard J. Gaffey, Trustee of the Belle Lane Realty Trust, 171 Locke Drive, Marlborough, Massachusetts, whose Trustee became Annemarie von der Goltz by Certificate recorded with the Norfolk County Registry of Deeds in Plan Book 40744, Page 164 (hereinafter referred to as the "OWNER"), dated August 13, 2015. Further reference is made to the Amendment to the said Agreement between the TOWN and OWNER dated May 16, 2023 (the “1st Amendment”).

The Owner furnished to the Town, as part of the consideration of said Agreement, and in accordance with the provisions of subsection (l) of Section 81-U of Chapter 41 of the Massachusetts General Laws, to secure faithful performance of the work required within the time limit specified by virtue of the Definitive Subdivision Decision by the Needham Planning Board dated September 28, 2010 of the Belle Lane Subdivision recorded with the Norfolk County Registry of Deeds in Book 32037, Page 574, and in accordance with the provisions of Condition #22 of the Decision to secure off-street drainage surety during the construction of the subdivision, a surety bond in the total combined amount of Three Hundred Fifty Three Thousand Dollars (\$353,000.00) in the form of a Tripartite Agreement. Of the original \$353,000.00 that Boston Private Bank and Trust Company agreed to hold in escrow as noted above, \$48,000.00 remained in May 2023 (the other \$305,000.00 has been released through two reductions, dated December 9, 2015 and February 11, 2021, as the outstanding work items in the Subdivision were completed) when the funds from the Tripartite Agreement were disbursed to the Town to hold in escrow¹.

By letter to the Town Treasurer dated July 18, 2023, \$20,000 was released of the remaining escrow account, now being held in the form of cash held in escrow by the TOWN. In accordance with the provisions of said Belle Lane Agreement and the 1st Amendment, the original bond amount has been reduced to \$28,000.00, which is the current bond amount. The \$28,000.00 shall be held by the TOWN to secure completion of the following outstanding work:

1. \$28,000.00 for off-street drainage surety for Lots 1, 2, 3, 4, 5, 6, 7 and 8, in accordance with the recommendations of the Board of Health and Condition 22 of the Definitive Subdivision Decision.

All outstanding work under item 1 shall be completed to the satisfaction of the Planning Board by November 1, 2025, or this Agreement extended by said date, or the funds held in escrow shall be released to the TOWN for purposes of completing said work.

The drainage surety noted under item 1 shall be held by the TOWN until compliance with the Definitive Subdivision Decision has been demonstrated.

¹ SVB Private, successor to Boston Private Bank and Trust Company, no longer wished to extend the Tripartite Agreement, and has therefore dispersed the remaining funds to the TOWN to hold in escrow.

IN WITNESS WHEREOF, the said parties have executed this Belle Lane Agreement, Amendment under seal effective as of _____, 2024.

PLANNING BOARD
TOWN OF NEEDHAM

OWNER

By: _____
Name: Annemarie von der Goltz, Trustee
Belle Lane Realty Trust

COMMONWEALTH OF MASSACHUSETTS

Norfolk ss _____, 2024

On this __ day of _____ 2024, before me, the undersigned notary public, personally appeared Annemarie von der Goltz as Trustee of the Belle Lane Realty Trust proved to me through satisfactory evidence of identification, which was _____ to be the person whose name is signed on the preceding or a ached document, and acknowledged to me that she signed it freely and voluntarily for its stated purpose as the free act and deed of the Trustee of Belle Lane Realty Trust.

Notary Public:
My Commission Expires:

COMMONWEALTH OF MASSACHUSETTS

Norfolk, ss

_____, 2024

On this ____ day of _____, 2024, the undersigned notary public, personally appeared _____ one of the members of the Planning Board of the Town of Needham, Massachusetts, proved to me through satisfactory evidence of identification, which was _____ to be the person whose name is signed on the proceeding or attached document, and acknowledged the foregoing to be the free act and deed of said Board before me.

Notary Public:
My Commission Expires:

Approved as to form:

Christopher Heep
Town Counsel

Town of Needham Climate Action Committee Committee Charge and Composition

<https://needhamma.gov/5542/49870/Climate-Action-Committee>

Type:	Ad Hoc
Legal Reference:	Select Board Vote
Appointing Authority:	Select Board
Number of Voting Members:	Eleven
Term of Appointment	Three Years (first appointments will be staggered)
Special Municipal Employee	Yes
Staff Support	Sustainability Manager

Members	Year Appointed	Term Expiration	Type
Kamryn Doerr	Member of the Select Board or Designee	2024	2027
	Member of the Planning Board or Designee		2026
Michael Greis	Member of the School Committee or Designee	2024	2025
Barry Coffman	Member of the Finance Committee or Designee	2024	2027
	Member of the Mobility Planning and Coordination Committee or Designee		2026
	Member of the Conservation Commission or Designee		2025
	Member of the Permanent Public Building Committee or Designee		2027
Nick Hill	Member of Green Needham	2024	2026
	Youth Member		2025
Stephen Frail	Resident At Large	2024	2027
Paul Dellaripa	Resident At Large	2024	2026

Composition: Eleven voting members (Climate Action Roadmap area leads noted for applicable members):

- Member of the Select Board or Designee – Governance, Clean Energy Supply
- Member of the Planning Board or Designee – Climate Smart Zoning and Planning
- Member of the Conservation Commission or Designee – Natural Resources
- Member of the Mobility Planning and Coordination Committee or Designee – Zero Emissions Transportation
- Member of the Permanent Public Building Committee or Designee – Net Zero Building
- Member of the Finance Committee or Designee
- Member of the School Committee or Designee
- Member of Green Needham
- Youth Member
- Resident At Large
- Resident At Large

Purpose: The purpose of the Climate Action Committee is to advise and assist the Town of Needham, through the Select Board, in the implementation of policies and practices to achieve the objectives of the Town’s Climate Action Roadmap and to support the state’s attainment of 2050 Net Zero goals.

Charge: The Climate Action Committee will:

- Provide input and adopt revisions to the Climate Action Roadmap at least once every five years to reflect new priorities, objectives, and initiatives.
- Review Needham’s climate-related data to report annual progress relative to climate action goals as defined in the Climate Action Roadmap.
- On a community-wide basis – to include residential, commercial, industrial, and municipal entities – identify and prioritize:
 - achievable short-term and long-term projects and initiatives that encourage net zero energy and sustainable practices;
 - present and future climate vulnerabilities; and
 - adaptation strategies to help Needham become more climate resilient.
- Recommend to the Select Board priorities for inclusion into the annual operating budget and five-year capital plan.
- Conduct other studies and analyses as requested by the Select Board relative to the Committee’s purpose.

Charge Adopted: March 12, 2024 **Charge Revised:**

SME Status Voted: March 12, 2024

NEEDHAM PLANNING BOARD MINUTES

March 5, 2024

The Needham Planning Board meeting, held in person in the Charles River Room at the Public Services Administration Building and virtually using Zoom, was called to order by Adam Block, Chairman, on Tuesday, March 5, 2024, at 7:00 p.m. with Messrs. Crocker and Alpert, Mmes. McKnight and Espada, Planner, Ms. Newman and Assistant Planner, Ms. Clee.

Mr. Block noted this is an open meeting that is being held in a hybrid manner per state guidelines. He reviewed the rules of conduct for all meetings. This meeting does not include any public hearings and no public comment will be allowed. If any votes are taken at the meeting the vote will be conducted by roll call. All supporting materials, including the agenda, are posted on the town's website.

Review of Landscaping Plan for 920 South Street Definitive Subdivision.

Mr. Block noted this is being postponed as they wait for an updated plan. Ms. McKnight asked if the plan would be prepared by a landscape architect. Ms. Newman has asked for a plan prepared by a landscape architect.

Planning Board Recommendations

Article 1: Amend Zoning By-Law – Affordable Housing District

Article 2: Amend Zoning By-Law – Map Change For Affordable Housing District

Mr. Block stated he has given thought to the comments from last week and the public meetings and categorized the comments. He noted there were a number of questions and comments regarding the properties management. This is not part of the Planning Board purview so there is no need to discuss those. There were also comments regarding elements of site plan aspects. There is no application for a specific project so there is no need to get into those. He recognizes the residents in that area are concerned with storm water management. That is a legitimate concern. The municipality is looking into improving that area. Once a site plan is in front of the Board the site plan and storm water will be dealt with at that time. He stated there were issues related to zoning regarding height and density. There is also a concern regarding traffic. There are a low number of cars in the development. There will be an increase of 95 cars, but this is outside the parameters as relates to the development.

Mr. Crocker stated he has looked at this closely and listened to the neighbors. The height has been changed. There is no final plan of where the parking will be. That will be discussed at that time. He appreciated the neighbor's concerns and where they are coming from. Ms. Espada agreed with Mr. Crocker. She appreciated all the comments. She noted the setback of 40 feet was appropriate and it says the front setback shall be landscaped with a buffer. The side setback has a parking setback of 5 feet and does not require a landscape buffer. She feels that should be added. Ms. McKnight noted on the right side are additional Housing Authority buildings. She asked if there were any houses on the left. Ms. Newman stated there is a single-family home on the left. Reg Foster, of the Needham Housing Authority, stated there is town owned land and then the neighbor on the left. There is a vegetative buffer there now with a marsh. The area will be green space.

Mr. Alpert appreciated what Mr. Foster was saying but he is talking about current site plans. That could be changed, moved or a parking lot could be put in that area. He stated, if a parking lot is there they should have a 5 foot vegetative buffer between the lot line and parking. He asked if that could be in the zoning or covered with the site plan review. Ms. Newman noted it should be added into the zoning article. Mr. Alpert feels a vegetative buffer should be required. Ms. McKnight noted that is a strip of town owned land and not Housing Authority land. It is also a wet strip. She feels that provides a sufficient buffer to protect that home. She would like to see a plan that shows that strip of land. She is not sure a vegetative buffer is needed. Mr. Block stated the parking setback could be increased from 5 feet to 10 feet or, in the zoning, it could speak to a vegetative buffer. Ms. Espada suggested adding a vegetative buffer or, if town land and there is a buffer, it is not needed. Mr. Block feels this is a function of the land and not a condition of zoning.

Ms. McKnight stated there were residents who spoke about the relocation of the existing people and the amount of rent they pay. That is not relevant to this. She feels these people were speaking because they were afraid of change. She asked if the rent is higher during the relocation would the Housing Authority pay the difference? Mr. Foster stated there would be no out of pocket increase for existing tenants. Ms. McKnight agrees the storm water management would be dealt with during site plan review. She commented that the Planning Board has tightened the storm water management rules in recent years. Ms. Newman stated she will be reviewing the rules again.

Mr. Crocker stated the Board should consider a practice from a good modeling standpoint. Would the Board want this parking 5 feet from the property line assuming the town land was not there? Mr. Alpert asked what if, in the future, the Housing Authority goes to the Town to buy that strip of land to increase the parking. He has no issue increasing the setback from 5 feet to 10 feet or adding a buffer. Mr. Block would suggest a 10-foot setback for parking as opposed to a vegetative buffer so there is more flexibility for the town or for the Housing Authority to make any storm water management improvements. Ms. McKnight and Mr. Crocker both agreed.

Mr. Block asked Robert Smart, Counsel for the Housing Authority, if he had any comments. Mr. Smart stated a couple of Sections may or may not be applicable. Section 5.1.3, subsections j (parking setbacks) and k (landscaped areas). In j, it says parking spaces, etc. should be setback a minimum of 4 feet from rear and side yard lines. In k, it says the setback required under j shall be maintained as landscaped areas. He feels the Board should look at that Section. In the Apartment District, Section 4.3.3, it says the front setback will be kept as open space, landscaped and unbuilt upon. Ms. Espada asked if affordable housing is only for this site or could it be other areas at some point. Mr. Block stated extending to other areas is not being included. Ms. Espada would like something more generic and not specific to this site. Mr. Block agreed and feels this should include parking to 10 feet on the side and rear. All agreed.

Mr. Foster stated if 10 feet is taken away from the rear it is eliminating Option B. He noted it is a narrow lot and there are no experts there to know what the impacts would be. Mr. Smart stated a 10-foot parking setback could cause problems. Mr. Alpert suggested leaving the setback at 5 feet for the rear and 10 feet on the side. Ms. Espada agreed as they are trying to get parking in back. Mr. Foster and Mr. Smart agreed. A discussion ensued regarding adding language from Section 4.3.3 for a 10-foot side setback area between the lot line kept open with lawn or landscape, unparked on and unbuilt on. Mr. Smart requested the Board leave the setback at 5 feet rather than impose a stricter requirement for affordable housing than a for profit apartment. Mr. Alpert thinks if the Planning Board has the discretion to reduce to 5 feet it could be conditioned to be buffered with vegetation.

Ms. Newman stated the Board has created a dimensional requirement. This would be a waiver to a dimensional requirement that the Board has for an as of right use. Ms. McKnight stated the By-Law says a special permit for these projects is being required due to their size. That is what puzzles her about a waiver. Mr. Alpert stated a waiver is discretionary. Mr. Smart stated it is in Section 7.4.6. Ms. Newman noted when the Board establishes a standard, they are creating a provision to grant a special permit reducing it. Mr. Alpert asked what process the Board has to put in to grant a waiver. Ms. Newman noted the Planning Board may grant a special permit to reduce the minimum side lot setback required by this provision to no less than 5 feet. After discussion, it was agreed to change it to 5 feet with a landscaped vegetative buffer.

Upon a motion made by Mr. Alpert, and seconded by Ms. Espada, it was by a vote of the five members present unanimously:

VOTED: with the change discussed, to send Zoning Article 1, in that form, to the Warrant Committee for recommendation for adoption at Town Meeting.

Upon a motion made by Mr. Alpert, and seconded by Mr. Crocker, it was by a vote of the five members present unanimously:

VOTED: to accept Article 2 as written and send to the Warrant Committee for recommendation of adoption at Town Meeting.

Minutes

Mr. Block noted, on the minutes of 12/19/23, page 5, Mr. Crocker was asked about ground mounted solar and Ms. Espada stated there is nothing under ground mounted. Mr. Block is fine with the comment as is. It was decided to strike the sentence. Mr. Crocker stated the setback from the front, if no screening in front, is pushed back to 70 feet. Mr. Crocker noted he was referring to visuals. Ms. McKnight stated to change it to “pushed back further.” This was agreed.

Upon a motion made by Mr. Crocker, and seconded by Ms. Espada, it was by a vote of the five members present unanimously:

VOTED: to approve the minutes of 12/19/23 as redlined and further amended tonight.

Report from Planning Director and Board members.

Ms. Newman stated the HONE Committee had an additional meeting last week to finalize both scenarios. The base scenario gets them to compliance at a production of about 1,800 units and then the add on scenario would create a greater build out density that landed around 3,400 units. Actual apartments in the existing zoning generate around 780 units. This is only about 100 units off what the base scenario creates. This recognizes the Avery Square Building and acknowledges the Industrial District and Business Districts. Add ons looked at creating density in the Chestnut Street corridor and gets to the standards they already have in Mixed Use by special permit. Housing can now be produced in a Mixed-Use context. Consultants are now doing a fiscal impact analysis on both scenarios and are doing a propensity for change model. Everything is coming together for the meeting this Thursday.

Ms. McKnight heard the Avery condominiums are not part of the plan. Ms. Newman noted that parcel created a number of units already there they did not want to include. Mr. Block heard from other developers that less than 50 units per acre does not work. Ms. Newman stated there are 42.8 units per acre in the Business District add on and the base is 29.5 units per acre. Ms. Espada stated 90% has to be within 0.5 miles of an MBTA station. Needham has 10% at the Greendale Avenue project. The town does not have a strategy for Hershey that would meet the MBTAs easily. They need to make the best decisions that are viable and the correct density to present. This has been tweaked to make it the best plan possible. It is adding buildings that are much higher than what is there. The Board needs to be careful where they allow them. There is little site plan review that would be allowed similar to the Dover Amendment.

Mr. Block feels the Board will be dealing with housing issues through Town Meeting for the next 5 years. Ms. Espada wants to be thoughtful if it is as of right that the Town feels comfortable as the site plan review is minimal. Mr. Crocker stated passing the zoning gives 3,800 more units within the MBTA 0.5 mile radius. He asked if some acreage is later rezoned and it cuts into some of the 3,800 units by 300 units, as long as they are above the threshold of 1,780 anything over that can still be modified. If zoned as of right, they cannot take any back even if over the 1,780. Ms. Newman will find out between Town Counsel and the consultants what the answer would be. She stated the Chestnut Street corridor was zoned at 4 stories, but the problem is the parcel size. Mr. Crocker noted also ownership. Mr. Block stated he would prefer to send more than 2 Articles for HONE to separate some out. Ms. Espada stated that would be hard to do, would cause confusion and she is not sure there is time to do it.

Correspondence

Mr. Block noted a memo from Dan Matthews, dated 2/25/24, regarding the HONE scenarios A and B with comments to think about. Mr. Block stated the Planning Board needs to take ownership of this. Ms. McKnight commented she took Mr. Matthews memo and checked off what the Planning Board has done and checked off 5 out of 6 items. She spoke with Mr. Matthews last night and he seemed pleased with how the Board was dealing with it. Mr. Block noted an email from Susan Welby, Town Meeting Member, dated 2/28/24, regarding the Affordable Housing District and her support for the draft.

Upon a motion made by Ms. Espada, and seconded by Mr. Crocker, it was by a vote of the five members present unanimously:

VOTED: to adjourn the meeting at 8:40 p.m.

Respectfully submitted,
Donna J. Kalinowski, Notetaker

DRAFT

NEEDHAM PLANNING BOARD MINUTES

March 14, 2024

The Needham Planning Board meeting, held in person in the Charles River Room at the Public Services Administration Building and virtually using Zoom, was called to order by Adam Block, Chairman, on Thursday, March 14, 2024, at 7:00 p.m. with Messrs. Crocker and Alpert, Planner, Ms. Newman and Assistant Planner, Ms. Clee.

Mr. Block noted this is an open meeting that is being held in a hybrid manner per state guidelines. He reviewed the rules of conduct for all meetings. This meeting does include one public hearing that will be continued and no public comment will be allowed. If any votes are taken at the meeting the vote will be conducted by roll call.

Public Hearing:

7:00 p.m. – Article 1: Amend Zoning By-Law – Solar Energy Systems

Upon a motion made by Mr. Crocker, and seconded by Mr. Alpert, it was by a vote of the three members present unanimously:

VOTED: to continue the hearing to Tuesday, March 19, 2024, at 7:45 p.m.

Report from Planning Director and Board members.

Ms. Newman noted there is no report.

Correspondence

Mr. Block noted there is no correspondence.

Upon a motion made by Mr. Crocker, and seconded by Mr. Alpert, it was by a vote of the three members present unanimously:

VOTED: to close and adjourn the meeting at 7:03 p.m.

Respectfully submitted,
Donna J. Kalinowski, Notetaker

Natasha Espada, Vice-Chairman and Clerk

DRAFT

NEEDHAM PLANNING BOARD MINUTES

March 19, 2024

The Needham Planning Board meeting, held in person in the Charles River Room at the Public Services Administration Building and virtually using Zoom, was called to order by Natasha Espada, Vice-Chairman, on Tuesday, March 19, 2024, at 7:00 p.m. with Mr. Crocker, Ms. McKnight, Planner, Ms. Newman and Assistant Planner, Ms. Clee.

Ms. Espada noted this is an open meeting that is being held in a hybrid manner per state guidelines. She reviewed the rules of conduct for all meetings. This meeting does include two public hearings and public comment will be allowed. If any votes are taken at the meeting the vote will be conducted by roll call.

Decision: Amendment to Major Project Site Plan Special Permit No. 2009-06: Needham Farmer's Market, Inc., 227 Eliot Street, Ashland, MA, 01721 and Town of Needham, 1471 Highland Avenue, Needham, MA, Petitioners (Property located at 1471 Highland Avenue, Needham, Massachusetts). Regarding request to permit the operation of a farmers market on a small portion of the Town Common and Garrity's Way.

Ms. Espada noted this decision will be discussed and voted at the April 2, 2024 meeting of the Planning Board.

Public Hearing:

7:00 p.m. – Major Project Site Plan Special Permit No. 20094-01: Town of Needham, 1471 Highland Avenue, Needham, MA, Petitioner (Property located at 609 Webster Street, Needham, Massachusetts). Regarding request to renovate 4 existing tennis courts, add 4 new tennis courts, install stormwater management improvements, ADA accessible walkways and landscape improvements.

Ms. Espada noted the hearing regarding the tennis courts at the High School has been moved to the 4/2/24 meeting due to no quorum at this meeting.

Upon a motion made by Ms. McKnight, and seconded by Mr. Crocker, it was by a vote of the three members present unanimously:

VOTED: to open the public hearing for the Major Project Site Plan Special Permit for the property at 1471 Highland Avenue regarding the tennis courts.

Upon a motion made by Ms. McKnight, and seconded by Mr. Crocker, it was by a vote of the three members present unanimously:

VOTED: to continue the public hearing to Tuesday, April 2, 2024, at 7:45 p.m. for the Town of Needham regarding the High School tennis courts.

ANR Plan – Ridgeway Properties, LLC, and Peter Hammer, Petitioners (Property located at 25 Ridgeway Avenue and 10 Evans Road, Needham, MA).

Ms. Newman noted these are 2 existing house lots that are swapping parcels of land at the back of the property. The parcels are almost exactly the same size. One lot is pre-existing, nonconforming as it only has 60 feet of frontage on Evans Road. Evans Road is a private way but provides adequate access. Peter Hammer, of 30 Newbury Park, stated he and his wife own the property at 10 Evans Road. His in-laws live at 10 Evans Road and there is a triangle of land that separates their properties. He approached the homeowners of 25 Ridgeway Avenue and asked if they were interested in a land swap. The new owner felt it would open up the lot and make it more buildable. There is a 5 square foot difference as the Evans Road property needed to have a net gain. Ms. Newman stated that is how it used to be but not anymore. It can now be an even swap. No members had any concerns or comments.

Upon a motion made by Ms. McKnight, and seconded by Mr. Crocker, it was by a vote of the three members present unanimously:

VOTED: to endorse the plan at 28 Ridgeway Avenue and 10 Evans Road, dated 2/29/24, creating parcels B and A, as Subdivision Approval not Required.

Board of Appeals – March 21, 2024

20 Alder Brook Lane – Amit Schwartz and Neta Levin Schwartz, owners.

Ms. Newman noted the owners are requesting to put an addition on an existing house to accommodate a garage and a variance for the front yard setback. Ms. McKnight commented she normally hates garages in front but in this case it is a tiny cul-de-sac and the house is at the end. Ms. Newman noted the land is wet and has an odd shape. Ms. McKnight feels it is justified. Ms. Espada stated the Zoning Board of Appeals (ZBA) should review it.

Upon a motion made by Ms. McKnight, and seconded by Mr. Crocker, it was by a vote of the three members present unanimously:

VOTED: to vote “No comment” on the application for a Special Permit under Section 1.4.6 and the variance with regard to the property at 20 Alder Brook Lane.

Minutes

Ms. McKnight noted, on page 1, the Reg Foster last sentence, add “including affordability” after “all recorded documents.” She asked if Town Counsel wants specific reference made to all recorded documents. Ms. Newman stated that was a reference to the second article and not the zoning article. Ms. McKnight noted to take out “including affordability” and add “to all recorded documents in the second Warrant Article.” or “the second Article that pertains to recorded restrictions in deeds for the Town.” All agreed. Ms. McKnight noted on page 2, 1st paragraph, she added “in the current recorded restrictions” after the Select Board Warrant Article. She noted to take out “framework or recorded framework.” In the 3rd paragraph, Ms. Newman was treating this like an apartment district. It should be Apartment A1 District. On page 3, Ms. Newman noted it is saying to pay attention to the provisions of this when special permits were being granted and which Board was being assigned the role. Ms. McKnight noted it should say “Mr. Block noted when a special permit is required the areas of who and on what basis the special permit granting authority would be flagged” This was agreed. Ms. Espada noted on page 3, 1st paragraph, this defines all systems. Ms. McKnight the sentence should have a “:” at the end then 1).

Upon a motion made by Ms. McKnight, and seconded by Mr. Crocker, it was by a vote of the three members present unanimously:

VOTED: to accept the minutes of 1/2/24 as redlined and with the changes discussed tonight at this meeting.

Report from Planning Director and Board members.

Ms. Newman noted the HONE Committee meeting is planned for 3/28/24. The Committee has decided on 2 scenarios – the base scenario and an add on scenario. Both are being presented to the community and they are being linked with a fiscal impact analysis and a build out analysis and a propensity for change analysis which will look at what the project will be and the actual number of units that could be built. The Committee is also working on a zoning framework for that. They will be receiving feedback on those 2 studies, then will finalize what the Committee wants to move forward with. There will be 2 meetings on 4/4/24 and 4/25/24 and then the Committee’s work will be done on 4/25/24. She noted there will be a joint meeting with the Select Board and the Finance Committee on 4/30/24. She hopes to have information for the community meeting up on the website this week so they see it all ahead of the presentation. She noted this is a very short window. She should have the draft tomorrow that has been put together.

Ms. McKnight stated when she was appointed to the Committee she knew she was not going to run again. It was discussed at that time to vote a change that established the committee to a person and not a member of the Planning Board. This was not done. She would like to continue serving on this committee after she is off the Board. She feels the members should have a vote on 4/2/24 appointing her conditioned upon the Select Board agreeing to a change in the composition of the Committee. Mr. Crocker noted, once submitted, HONE is virtually done. Ms. Newman stated the Planning Board will be taking on the responsibility for the Articles when they come back to them in August. Ms. McKnight feels HONE should stay in existence in case the state has any issues. She feels they are in good shape. Ms. Espada noted there were several things the Committee wants the Planning Board to take on. They need Ms. McKnight to help to make sure they know what the Planning Board should be taking on.

Correspondence

Ms. Newman stated she included in the packet the final zoning language for the Housing Authority along with explanations.

Public Hearing:

7:45 p.m. Article 1: Amend Zoning By-Law – Solar Energy Systems

Upon a motion made by Ms. McKnight, and seconded by Mr. Crocker, it was by a vote of the three members present unanimously:

VOTED: to waive the reading of the public hearing notice.

Ms. Espada noted Mr. Block put the presentation together and Mr. Crocker will be presenting tonight to make sure everyone understands what the By-Law is. Mr. Crocker noted this is going to the May Town Meeting and this is memorializing some language for solar. He explained the past history where large scale ground mounted solar had been put together and was done at the transfer station. The Board is bringing this By-Law so people know what can be done. The proposed would expand the definition of solar to reduce any confusion. He noted there are active and passive solar systems but primarily active. He is talking mainly photovoltaic systems. Ground mounted systems are defined by square footage with small and medium and other active systems such as building mounted, building integrated and surface integrated. He noted the material itself is integrated or a surface integrated example would be a sidewalk. Roof mounted is allowed by right in all districts.

Mr. Crocker noted in residential districts, small scale is by right in the side and rear yards and at the district setback. The front is allowed by special permit granted by the ZBA. Screening is required when closer to the lot line. In non-residential, small is allowed in the side and rear yards by right with site plan review by the Planning Board. Medium scale is allowed in side and rear. Parking canopies are allowed in the side and rear by site plan review by the Planning Board, building mounted is allowed by right in New England Business Center District, Mixed Use 128 District and Highland Commercial 128 District with one exception at Highland Terrace. Building mounted is allowed by special permit in other districts in town. He reviewed the dimensional regulations, lot coverage, height and setbacks for ground mounted and parking canopies. Ms. McKnight stated a lot of thought has gone into drafting this, there were several meetings and she is satisfied with it. She commented it was a good presentation.

Upon a motion made by Ms. McKnight, and seconded by Mr. Crocker, it was by a vote of the three members present unanimously:

VOTED: to close the hearing on the Zoning By-Law amendment for solar.

Planning Board Recommendation:

Article 1: Amend Zoning By-Law – Solar Energy System

Upon a motion made by Ms. McKnight, and seconded by Mr. Crocker, it was by a vote of the three members present unanimously:

VOTED: to send the Article in this final form for inclusion in the Warrant and recommend to Town Meeting it be adopted.

Upon a motion made by Ms. McKnight, and seconded by Mr. Crocker, it was by a vote of the three members present unanimously:

VOTED: to adjourn the meeting at 7:56 p.m.

Respectfully submitted,
Donna J. Kalinowski, Notetaker

Natasha Espada, Vice-Chairman and Clerk

From: noreply@civicplus.com
To: [Alexandra Clee](#); [Lee Newman](#); [Elisa Litchman](#)
Subject: Online Form Submittal: Contact Planning Board
Date: Monday, April 29, 2024 8:10:29 PM

Contact Planning Board

Please use this form to contact the Planning Board. Thank you.

Contact Information

Full Name:	Jennifer Leonardschaffstein
Email Address:	leonardschaffstein@yahoo.com
Address:	15 Abbott Street
City/Town:	Needham
State:	MA
Zip Code:	02492
Telephone Number:	7815721284

Comments / Questions	Hi, I'm reaching out in support of expanding our housing and development options her in Needham. I have followed many of the HONE information sessions and meetings and I feel this is the optimal time to further our housing options and to help meet the demands of Boston area housing challenges due to high costs, little availability and growing demand. I also , support reviewing the regulations of single family homes which each year become larger and larger, take up expansive footprints and cause environmental issues for the area. Another concern with this is the unnecessary removal of healthy trees, affecting the overall air quality, shading and soil support. Thank you for your time. Kind regards, Jennifer Leonard-Schaffstein
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Email not displaying correctly? [View it in your browser.](#)

From: [Paula Dickerman](#)
To: [Planning](#)
Subject: NHC 5/22/24 Participative Open Meeting
Date: Thursday, May 9, 2024 12:16:53 PM

To the Planning Board and HONE members,

Please note that the Needham Housing Coalition Monthly Open Meeting on May 22nd at the Library will be focused on housing for the Needham of the future.

As you can see in the attached flyer, we will have housing development experts, statewide housing advocates, and NHC members who will be facilitating table discussions about the 2 MBTA zoning plans, the conditions necessary to create housing development, and how we can get the word out about the Neighborhood Housing Plan and other housing issues.

We hope to see some of you there.

Thank you,

Paula Dickerman
for the Needham Housing Coalition

NEEDHAM'S HOUSING FUTURE

Imagining Our Housing Choices

Wednesday, May 22nd
at the **Needham Public Library**
7:00 - 8:30 pm



Your voice matters!!

What kind of town do you want Needham to be?

How do you compare Needham's two MBTA Zoning Plans?

What does it take to build housing?

How can you be heard?

Join the Needham Housing Coalition for an interactive Open Monthly Meeting. You will have an opportunity to share your thoughts about the housing future of Needham. We will be joined by experts and discussion facilitators:

Caitlin Madden, Executive Director, Metro West Collaborative Development
Whitney Demetrius, Director of Fair Housing and Municipal Engagement, CHAPA
Julia Davidovitz, Regional Organizer, Abundant Housing MA
Geoff Engler, Housing Developer, Strategic Land Ventures, and resident
Oscar Mertz, NHC, Architect and Planner, and resident
Jan Soma, NHC, Legislative Advocate, and resident
Margaret Murphy, NHC, Real Estate Consultant, and resident
David Hruska, NHC and resident

***We hope to see you
on the 22nd!***

Co-hosted by



If you would like to get involved,
please email us at
needhamhousingcoalition@gmail.com

***scan QR code
to register
for the event***

