

DESIGN REVIEW BOARD

Monday, November 7, 2022

7:30 p.m.

Virtual Meeting using Zoom

Meeting ID: 845-1987-6965

(Instructions for accessing below)

Under Governor Baker's Act "Extending Certain COVID-10 Measures Adopted During the State of Emergency", extending the "Executive Order Suspending Certain Provisions of the Open Meeting Law G.L. c. 30A, S20," issued June 16, 2021, and in effect until April 1, 2022, and extended again through July 15, 2022 meeting of public bodies may be conducted virtually provided that adequate access is provided to the public. On July 16, 2022 Lt. Gov. Karyn Polito, as acting governor, signed legislation to extend key pandemic-era accommodations, including remote local government meeting authorizations, through March 31, 2023 effective immediately.

To view and participate in this virtual meeting on your phone, download the "Zoom Cloud Meetings" app in any app store or at www.zoom.us. At the above date and time, click on "Join a Meeting" and enter the following Meeting ID: 845-1987-6965 Link: <https://us02web.zoom.us/j/84519876965>

To view and participate in this virtual meeting on your computer, at the above date and time, go to www.zoom.us click "Join a Meeting" and enter the following ID: 845-1987-6965

HEARINGS:

Public notice is hereby given that M&T Bank to be located at 827 Highland Ave., has made application to the Design Review Board for a Special Permit pursuant to the Sign By-Law Section 5.5.3.1. b) applicant is requesting a second wall sign, not designating an entrance. and any other applicable sections of the By-law.

Public notice is hereby given that Sheraton Hotel located at 100 Cabot Street, has made application to the Design Review Board for a Special Permit pursuant to the Sign By-Law section 5.5.3.1 a) Installing more than one freestanding sign and one additional wall sign, and any other applicable sections of the By-law. *This hearing will be continued to 12/5/2022 due to the non-notification in the local newspaper.*

APPLICANTS:

Mark Evangelous, Gemini Sign Corp. representing Verizon Communication located at 66 Pickering Street and applying for signage.

George Giunta, Jr., attorney representing BTE Development, LLC owner of 40 & 50 Central Avenue and applying for site plan review.

Evans Huber, attorney with Frieze Cramer Rosen & Huber, LLP representing Coca-Cola located at 9 B Street and applying for site plan review with revised landscaping proposal.

REVIEW

Minutes from 10/17/2022 meeting.

Next Public Meeting – December 5, 2022 at 7:30pm via Zoom Webinar



TOWN OF NEEDHAM

DESIGN REVIEW BOARD

Public Service Administration Building
500 Dedham Avenue
Needham, MA 02492
Application and Report

Property Location: 827 Highland Ave Date: 10/18/22

Owner: Allied Capital Properties

Address: 1308 Beacon St Ste 109 Brookline Ma 02446
Street City State Zip

Telephone: 617-232-7777

Applicant: Sign Design Inc

Address: 170 Liberty St. Brockton Ma 02301
Street City State Zip

Telephone: 508-580-0094

Designer/Installer: Sign Design Inc - Marie Mercier

Address: 170 Liberty St. Brockton Ma 02301
Street City State Zip

Telephone: 508-580-0094

Type of Application
☒ Sign
☐ Minor Project
☐ Exterior Alterations
Major Project (Site Plan Review)
☐ - preliminary
☐ - final
☐ Flexible Subdivision
☐ Planned Residential Development
☐ Residential Compound

Brief description of sign or project:

Bank was a name change and rebrand -
Looking to Request a Special permit for a second
Wall Sign

Please email completed application to elitchman@needhamma.gov



- 1 ILLUMINATED LOGO
- 2 ILLUMINATED LOGO
- 3 MP-1-P
- 4 MP-1-P
- 5 MP-1-P
- 6 MP-1-P
- 7 MP-1-P
- 8 MP-1-P
- 9 DOT-ENTRANCE/DNE
- 10 DOT-DNE
- 11 DOT-HC-1
- 18 MP-2

BUILDING WIDTH: 75' V.I.F.
BUILDING LENGTH: 58' V.I.F.



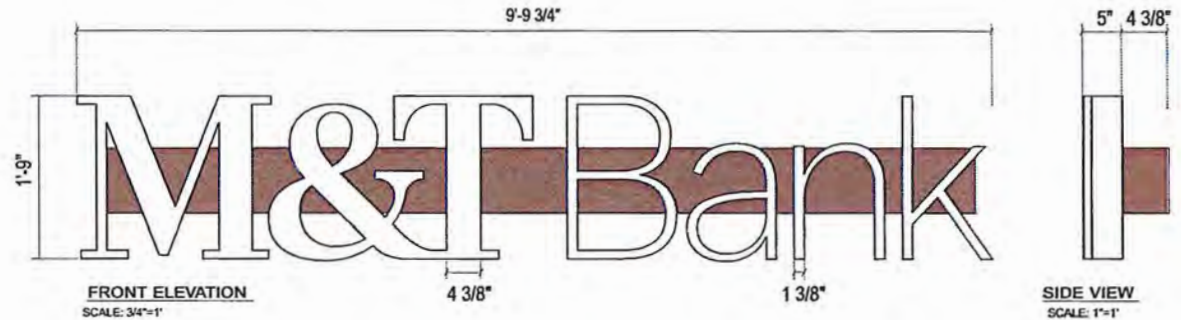
EXISTING: 1'-2" X 16'-3"

19.0 SF



PROPOSED

17.16 SF



2a FACE LIT CHANNEL LETTERS ON RACEWAY

SQ. FT: 17.16

SCALE: 3/4"=1'-0"

FINISHES

- WHITE ACRYLIC FACE
- RACEWAY COLOR TO MATCH BRICK FACADE

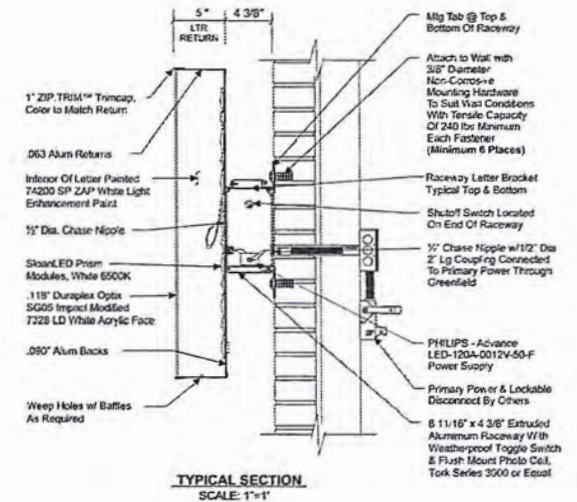


image one

677 Dunksferry Rd. Bensalem, PA 19020
800 Business Park Dr. Freehold, NJ 07728
11ind.com
215.826.0880

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SHEET NO.	CLIENT	BY	DESCRIPTION	REV./DATE/DESCRIPTION	BY	REV.	SHEET #
1	M&T Bank	WA	INITIAL DRAFTING				4



TOWN OF NEEDHAM

DESIGN REVIEW BOARD

Public Service Administration Building

500 Dedham Avenue

Needham, MA 02492

Application and Report

Property Location: 66 Pickering Street Date: 10/17/22

Owner: Stephen Quattrocchi

Address: 295 Parkshore Dr. Folsom, CA 95630

Telephone: 916-357-2433

Applicant: Verizon, LLC

Address: 66 Pickering St.

Telephone: Needham, MA 02492

Designer/Installer: Gemini Sign Corp = Installer

Address: Designer: Identit. Resources 425 N. Martingale Rd.
Schaumburg, IL 60173 Suite 180

Telephone: 847-349-4611

Type of Application
☒ Sign
☐ Minor Project
☐ Exterior Alterations
Major Project (Site Plan Review)
☐ - preliminary
☐ - final
☐ Flexible Subdivision
☐ Planned Residential Development
☐ Residential Compound

Brief description of sign or project:

Replacing existing non-illuminated Aluminum sign with
a exact new one except logo is different.
Size: 4'-7" x 87.5" wide x 1" thick

Please email completed application to elitchman@needhamma.gov

SUBMITTAL RECORD	
DATE	REMARKS
2020-05-06	Ext.ISP
2020-05-13	Ext.HQ.AAN.SP
2020-05-20	Ext.SP
2020-06-01	Ext.HQ.AAN.SP
2020-06-09	Ext.SP
2021-06-16	Ext.HQ.Approved.SP



ADMIN BUILDING



N/A
NEEDHAM CENTRAL OFC
66 PICKERING ST
NEEDHAM, MA 02492

EXTERIOR SIGNAGE SUBMITTAL

2363
2021-06-09

DESIGN APPROVAL:

WARE MALCOMB ARCHITECTURE PLANNING INTERIORS CIVIL ENGINEERING BRANDING BUILDING MEASUREMENT		verizon
PROJECT NAME Needham.MA_Needham Central OFC		
PROJECT NO. NYC21-8004	ITEM Exterior Signage Review	
☒ APPROVED	☐ APPROVED AS NOTED	
☐ REVISE & RESUBMIT	☐ NOT APPROVED	
REVIEW IS ONLY FOR GENERAL CONFORMANCE WITH THE DESIGN CONCEPT OF THE PROJECT AND GENERAL COMPLIANCE WITH THE INFORMATION GIVEN IN THE CONTRACT DOCUMENTS. AS ACTION SHOWN IS SUBJECT TO THE REQUIREMENTS OF THE PLANS AND SPECIFICATIONS. CONTRACTOR IS RESPONSIBLE FOR: DIMENSIONS WHICH SHALL BE CONFIRMED AND CORRELATED AT THE JOB SITE; FABRICATION PROCESSES AND TECHNIQUES OF CONSTRUCTION; COORDINATION OF THEIR WORK WITH THAT OF ALL OTHER TRADES; AND THE SATISFACTORY PERFORMANCE OF THEIR WORK.		
DATE 2021-06-16	BY Michelle Fortuna	



LEGEND		QTY
1	EAST ELEVATION - WALL PANEL	1
2	EAST ELEVATION - DOOR PANEL	1
3	PARKING SIGN	2

KEY	
SIGN LOCATION	
BUILDING OUTLINE	



V-Height Lookup Tool Results

N/A - ADMIN BUILDING

Landlord and/or Zoning Restrictions

City:
N/A

Landlord:

Location:	Permitted	Proposed
East Elevation (Entry Facade)	Face Replacement	33.4 SF
Door Panel	Face Replacement	0.5 SF
Parking Sign	Face Replacement	1.5 SF

Verizon Guideline Conformance, Exception Request and Justification:

Face replacements to existing signage







EXISTING V-HEIGHT: 10"

EXISTING CONDITION



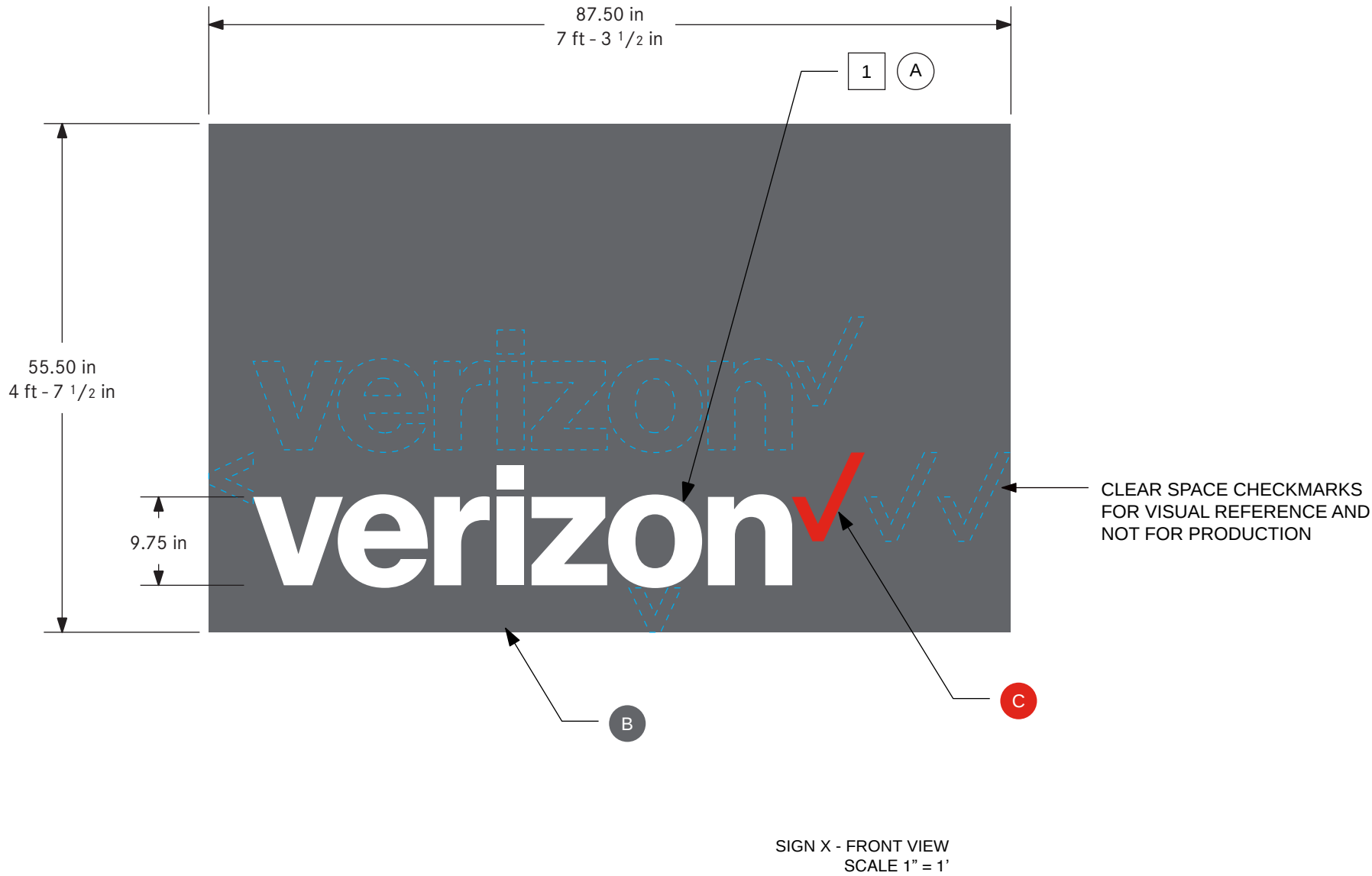
PROPOSED V-HEIGHT: 9.75"

REVISED CONDITION

NOTE:
ALL EXISTING, NON-STANDARD GRAPHICS AND SIGNAGE TO BE REMOVED
AND REPLACED WITH NEW STANDARD (TO BE COMPLETED BY OTHERS)



OUTLET ID OR D#	ADDRESS	SHEET TITLE	DATE	Agent Name	PREPARED BY	SHEET NUMBER
N/A PROJ #2363	66 PICKERING ST NEEDHAM, MA 02492	SIGN 1 - EAST ELEVATION - WALL PANEL - RENDERING	2021.05.05 REV 0 LM	ADMIN		5



KEY NOTES

1

1-5/8" DEPTH ALUMINUM PANEL WITH
APPLIED VINYL FLUSH MOUNTED
WITH ANGLE BRACKETS

COLORS

A

3M OPAQUE WHITE VINYL

B

PMS COOL GRAY 10

C

3M TOMATO RED 7725.13



EXISTING CONDITION

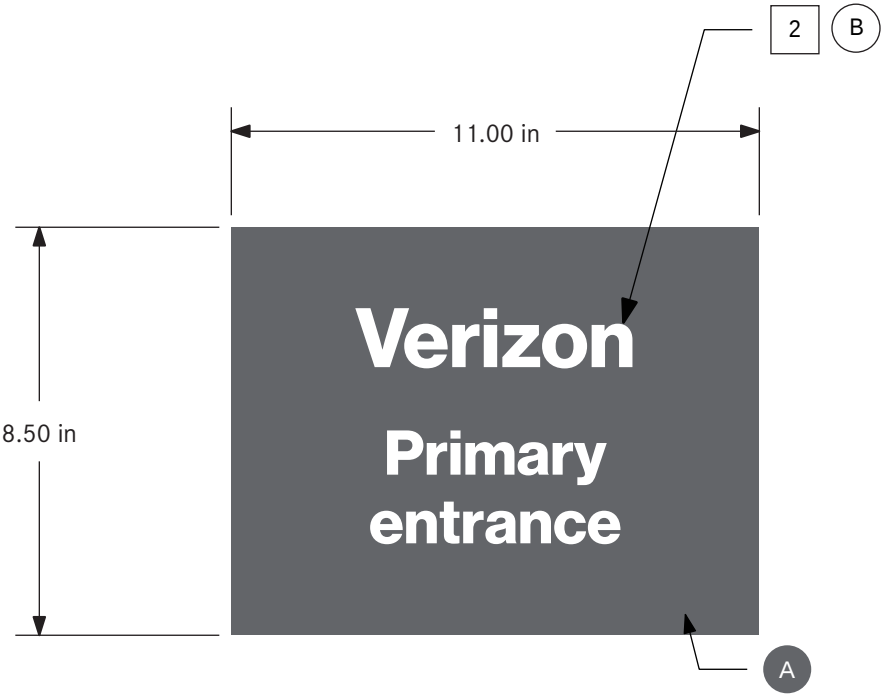


REVISED CONDITION

NOTE:
ALL EXISTING, NON-STANDARD GRAPHICS AND SIGNAGE TO BE REMOVED
AND REPLACED WITH NEW STANDARD (TO BE COMPLETED BY OTHERS)



OUTLET ID OR D#	ADDRESS	SHEET TITLE	DATE	Agent Name	PREPARED BY	SHEET NUMBER
N/A PROJ #2363	66 PICKERING ST NEEDHAM, MA 02492	SIGN 2 - EAST ELEVATION - DOOR PANEL - RENDERING	2021.06.09 REV 2 LM	ADMIN		7



SIGN 2 - DOOR PANEL
SCALE 3" = 1'

KEY NOTES

2

PAINTED REFLECTIVE METAL
PARKING SIGNS WITH TEXT
WEDED OUT
QTY 2

COLORS

A

PMS COOL GRAY 10

B

WHITE



EXISTING CONDITION



REVISED CONDITION

NOTE:
ALL EXISTING, NON-STANDARD GRAPHICS AND SIGNAGE TO BE REMOVED
AND REPLACED WITH NEW STANDARD (TO BE COMPLETED BY OTHERS)



OUTLET ID OR D#	ADDRESS	SHEET TITLE	DATE	Agent Name	PREPARED BY	SHEET NUMBER
N/A PROJ #2363	66 PICKERING ST NEEDHAM, MA 02492	SIGN 3 - PARKING SIGNS - RENDERING	2021.05.19 REV 1 LM	ADMIN		9



TOWN OF NEEDHAM

DESIGN REVIEW BOARD

*Public Service Administration Building
500 Dedham Avenue
Needham, MA 02492
Application and Report*

Property Location: 40 & 50 Central Avenue, Needham, MA 02494 **Date:** 10/27/22

Owner: Michael J. Panella 1992 Trust & VP Realty Trust
C/O George Jabour, Esq.
Address: 30 Eastbrook Road, Suite 201, Dedham, MA 02026
Street City State Zip
Telephone: 781-467-0044

Applicant: BTE Development, LLC
Address: 13 Eaton Court, Wellesley, MA 02481
Street City State Zip
Telephone: 781-589-8239 - Paul Bevilacqua, Manager

Designer/Installer: MGD+, LLC
Address: 411 Lexington Street, Newton, MA 02466
Street City State Zip
Telephone: 857-322-5643

Type of Application
☐ Sign
☐ Minor Project
☐ Exterior Alterations
Major Project (Site Plan Review)
☐ - preliminary
☒ - final
☐ Flexible Subdivision
☐ Planned Residential Development
☐ Residential Compound

Brief description of sign or project:

Demolition of two existing commercial buildings and construction of a new mixed use building with retail on the first floor and 15 total residential units on the second and third floor, with associated surface parking, driveways and other site improvements; as described at Addendum A attached hereto and shown on the plans submitted herewith, all of which are hereby incorporated herein.

Please email completed application to elitchman@needhamma.gov

Dig Safe
 Call before you dig to protect the Dig Safe System.
 To protect damage to underground gas or
 electric, water, sewer, or other utilities, call 800-4-A-DIG.
 Dig Safe is a national program that provides
 information on underground utilities and helps
 you avoid digging operations in an
 emergency, and immediately.



Applicant:
 Bevilacqua Builders
 13 Eaton Court
 Wellesley, MA 02481
Owners:
 Michael J Panella 1992 Trust
 and the VP Realty Trust
Title Reference:
 Bk 10567 Pg 675 and Bk 11216 Page 659
 Parcels I and II

Plan References:
 Parcel I is shown on a Plan of Land in Needham Mass
 by UM Schiavone dated March 26, 1949 recorded as Plan
 No 541 of 1950 Bk 2913 Pg 350
 Parcel II is shown on a Plan of Land by John E Titus
 dated June 23, 1925 recorded as Plan No 772 of 1925 Bk
 1659 Pg 306
 Parcel I and II are also shown as Lots 9 and 10 on a
 Plan of Land in Needham Mass by George N Giunta RLS
 dated March 24, 1979 recorded as Plan No 222 of 1979
 Bk 5584 Pg 357

Zoning District:
 Neighborhood Business

Note: Existing zoning district information is based on
 information obtained from the Town of Needham on-line
 data base and property deeds and plans obtained from
 Norfolk County Registry of Deeds. Final zoning district
 and requirements to be determined by the Town of
 Needham Building Department.

Existing utilities shown are from field
 locations and available plans of record
 and may or may not be correct.
 Contact Dig Safe and field verify all
 locations prior to any excavation.

REVISIONS	
DATE	DESCRIPTION



40 & 50 Central Avenue
 Needham, Massachusetts
 Existing Conditions Site Plan

Scale: 1"=20' September 12, 2022
VERNE T. PORTER Jr., PLS
 Land Surveyors - Civil Engineers
 354 Elliot Street Newton, Massachusetts 02464

Project: 21037
 Checked By: V. Porter Jr.
 Drawn By: R. Jardine Jr.

0 20 40 60 80
 Feet
 Sheet 1 of 3

City Seal
Seal of the City of Needham
The seal of the City of Needham is hereby certified to be correct in accordance with the provisions of the City Charter and the provisions of the State Seal Law.
Attest:
City Clerk
City of Needham
Seal of the City of Needham



Applicant:
Beverly Builders
13 Eaton Court
Wellesley, MA 02481

Owners:
Michael J. Panella 1992 Trust
and the VP Realty Trust

Title Reference:
Bk 10567 Pg 875 and Bk 11216 Page 659
Parcels I and II

Plan References:
Parcel I is shown on a Plan of Land in Needham Mass
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1859 Pg 306

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dated March 24, 1979 recorded as Plan No 222 of 1979
Bk 5684 Pg 367

Zoning District:
Neighborhood Business

Note: Existing zoning district information is based on
information obtained from the Town of Needham on-line
data base and property deeds and plans obtained from
Norfolk County Registry of Deeds. Final zoning district
and requirements to be determined by the Town of
Needham Building Department.

40 & 50 Central Avenue
Needham, Massachusetts

Proposed Parking and Building Location

Scale: 1"=20' September 12, 2022

VERNE T. PORTER Jr., PLS
Land Surveyors - Civil Engineers

354 Elliot Street Newton, Massachusetts 02464

Project: 21037

Checked: Bryn V. Porter Jr.

Drawn By: R. Jordine Jr.

Sheet 2 of 3

21037

21037

21037

21037

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21037

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21037

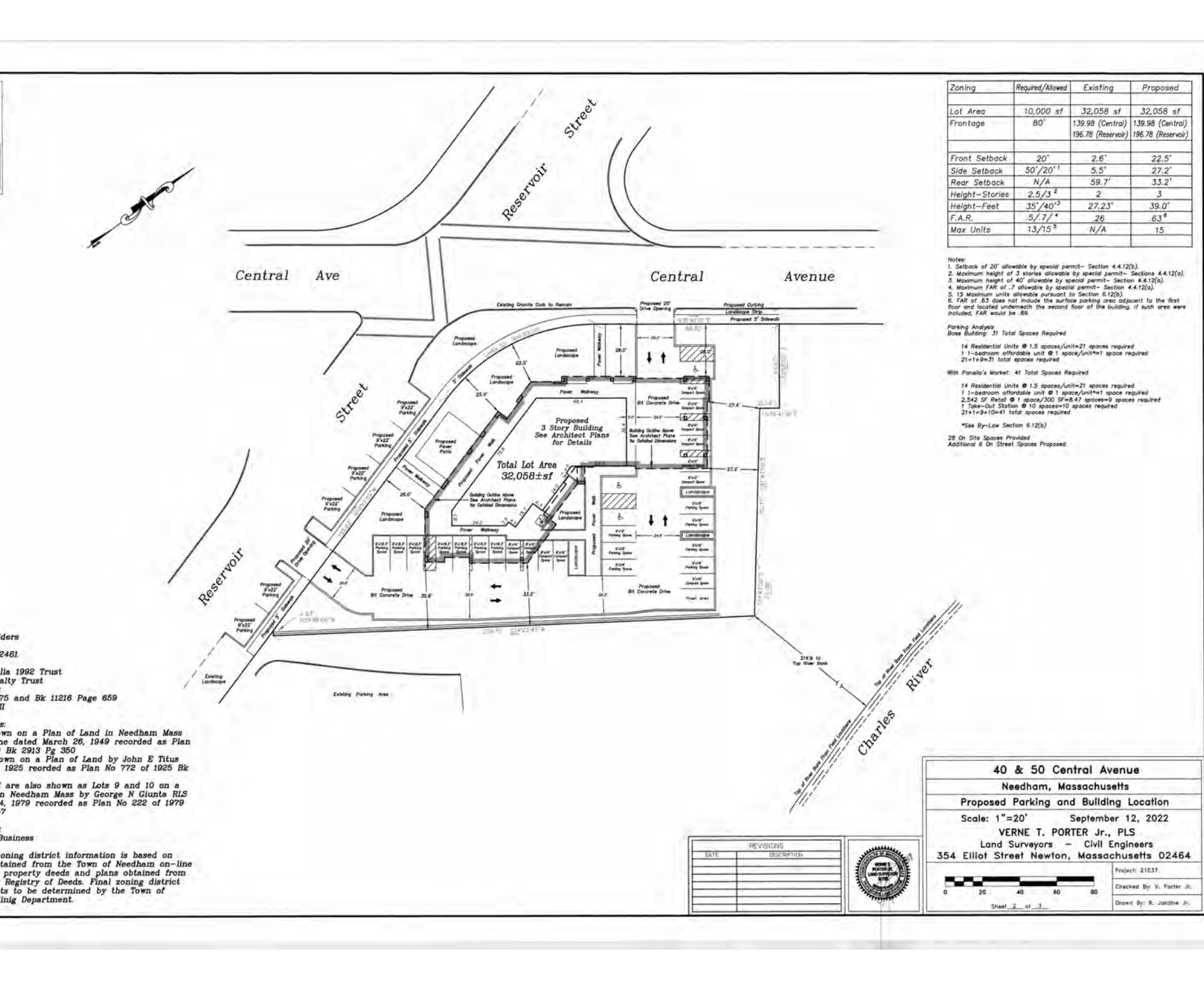
21037

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21037



Zoning	Required/Allowed	Existing	Proposed
Lot Area	10,000 sf	32,058 sf	32,058 sf
Frontage	80'	139.98 (Central) 196.78 (Reservoir)	139.98 (Central) 196.78 (Reservoir)
Front Setback	20'	2.6'	22.5'
Side Setback	50'/20' ¹	5.5'	27.2'
Rear Setback	N/A	59.7'	33.2'
Height-Stories	2.5/3 ²	2	3
Height-Feet	35'/40' ³	27.23'	39.0'
F.A.R.	5/7/ ⁴	26	63 ⁶
Max Units	13/15 ⁵	N/A	15

Notes:
1. Setback of 20' allowable by special permit- Section 4.4.12(b).
2. Maximum height of 3 stories allowable by special permit- Sections 4.4.12(a).
3. Maximum height of 40' allowable by special permit- Section 4.4.12(a).
4. Maximum FAR of .7 allowable by special permit- Section 4.4.12(a).
5. 15 Maximum units allowable pursuant to Section 6.12(b).
6. FAR of .63 does not include the surface parking area adjacent to the first floor and located underneath the second floor of the building. If such area were included, FAR would be .69.

Parking Analysis
Base Building: 31 Total Spaces Required
14 Residential Units @ 1.5 spaces/unit=21 spaces required
1 1-bedroom affordable unit @ 1 space/unit=1 space required
21+1=22 Total spaces required

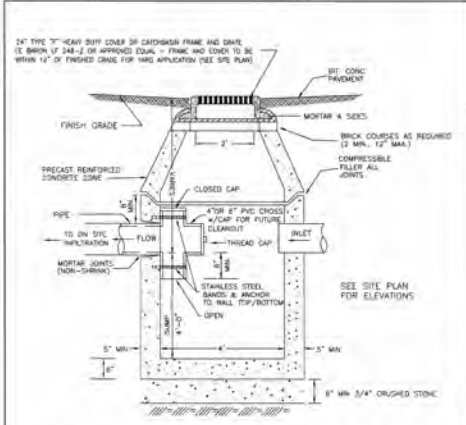
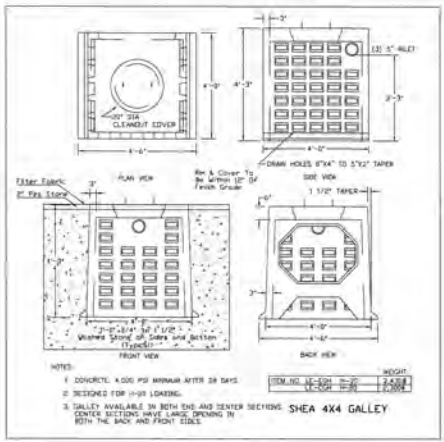
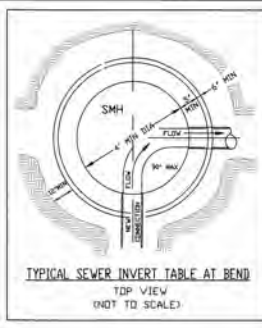
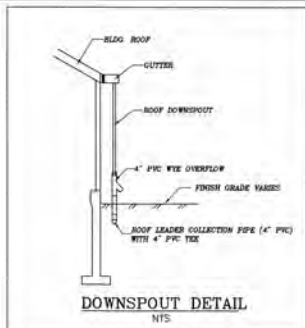
With Panella's Market: 41 Total Spaces Required
14 Residential Units @ 1.5 spaces/unit=21 spaces required
1 1-bedroom affordable unit @ 1 space/unit=1 space required
2,542 SF Retail @ 1 space/300 SF=8.47 spaces=9 spaces required
1 Take-Out Station @ 10 spaces=10 spaces required
21+1+9+10=41 total spaces required

*See By-Law Section 6.12(b)
28 On Site Spaces Provided
Additional 6 On Street Spaces Proposed

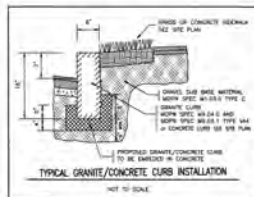
DATE	REVISIONS
	DESCRIPTION



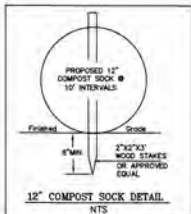
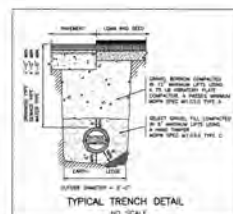
Sheet 2 of 3



TYPICAL PRECAST CONCRETE DRAIN MANHOLE/CATCHBASIN WITH GAS TRAP AND SUMP
(NOT TO SCALE)



TYPICAL GRANITE/CONCRETE CURB INSTALLATION
(NOT TO SCALE)



- Notes:**
1. The utilities shown are from field locations and available plans of utility companies and may or may not be correct. Contractor is to contact Dig Safe, all local utility companies and field verify all locations as required prior to any excavation.
 2. All work shall be done in accordance with Town of Needham Specifications and shall be subject to inspection and approval by the Town of Needham Engineering Department.
 3. An erosion control barrier shall be in place around the existing property prior to any demolition/construction and all materials must be contained on site.
 4. The existing water and sewer services shall be cut and capped at the main. Service lines are to be removed or abandoned in place in accordance with Town of Needham regulations.
 5. The contractor shall be responsible for all proposed grading as shown on plan. Any variations to proposed grading shown and/or any changes to proposed structure may result in non compliance with zoning regulations.
 6. All roof drains are to be connected to proposed drainage system as shown on plan. Drainage design and accompanying drainage calculations meet the minimum requirements for drainage per Town of Needham Engineering Department.
 7. Soil conditions are to be determined at the time of excavation. Proposed drainage design and calculations may need to be revised based on soil testing results.

Existing Surfaces	
EXISTING	
Buildings	3635 sf
Bill Conc Drive	17653 sf
Conc Pad	307 sf
Gravel Drive	3559 sf
PROPOSED	
Building	8930 sf
Drive	10048 sf
Walks/Patios	1574 sf

40 & 50 Central Avenue
Needham, Massachusetts

Proposed Conditions Site Plan

Scale: 1"=20' September 12, 2022

VERNE T. PORTER Jr., PLS
Land Surveyors - Civil Engineers
354 Elliot Street Newton, Massachusetts 02464

Project: 21037

Checked By: V. Porter Jr.

Drawn By: R. Jordine Jr.

Sheet 3 of 3

REVISIONS	
DATE	DESCRIPTION



Scale 1" = 30'-0"

SPECIAL
PERMIT SET

[illegible]CENTRAL AVE
DEVELOPMENT

-50 Central Ave, Needham, MA

ARCHITECTURAL SITE
PLAN

Project number	22-007
Date	9/18/22
Drawn by	TCO
Checked by	MGD

SP.01

scale	$3/32" = 1'-0"$
-------	-----------------



1 01 - Architectural Site Plan
3/32" = 1'-0"

PARKING ANALYSIS:

BASE BUILDING: 31 TOTAL SPACES REQUIRED

13 RESIDENTIAL UNITS @ 1.5 SPACES / UNIT = 20 SPACES REQUIRED

2 1-BEDROOM AFFORDABLE UNIT @ 1 SPACE / UNIT* = 2 SPACE REQUIRED

2,542 SF RETAIL @ 1 SPACE / 300 SF = 8.47 SPACES = 9 SPACES REQUIRED

20 + 2 + 9 = 31 TOTAL SPACES REQUIRED

WITH PANELLA'S MARKET: 41 TOTAL SPACES REQUIRED

13 RESIDENTIAL UNITS @ 1.5 SPACES / UNIT = 20 SPACES REQUIRED

1 1-BEDROOM AFFORDABLE UNIT @ 1 SPACE / UNIT* = 2 SPACE REQUIRED

2,542 SF RETAIL @ 1 SPACE / 300 SF = 8.47 SPACES = 9 SPACES REQUIRED

1 TAKE-OUT STATION @ 10 SPACES = 10 SPACES REQUIRED

$20 + 2 + 9 + 10 = 41$ TOTAL SPACES REQUIRED

*SEE BY-LAW SECTION 6.12(H)

28 ON SITE SPACES PROVIDED

11 COMPACT; 14 FULL SIZE; 3 ADA

ADDITIONAL 6 ON STREET SPACES PROPOSED (PARALLEL)

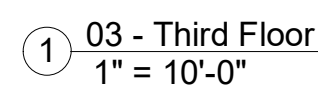
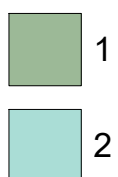
PARKING NOTES:

1. 50% COMPACT PARKING CAN BE USED (8' x 16') - 5.1.3(e)
2. 20 FT DRIVE LANE REQUIRED FOR 2 WAY TRAFFIC 5.1.3 (i)

Parking Schedule		
Parking Type	Type	Qty
01 - First Floor		
Parking Space	8' x 16' - 90 deg - Compact	11
Parking Space - ADA	9' x 18' (8' Aisle)	3
Parking Space	9' x 18.5' - 90 deg	14
Parking Space	9' x 22' - Parallel	6

(**NOTE - 6 SPACES ALONG PUBLIC WAY)

34



411 Lexington St, Newton - MA 02466
mgdplus.com
info@mgdplus.com

STAMP

SPECIAL
PERMIT SET

[illegible]CENTRAL AVE
DEVELOPMENT

40-50 Central Ave, Needham, MA

FLOOR PLANS

Project number	22-007
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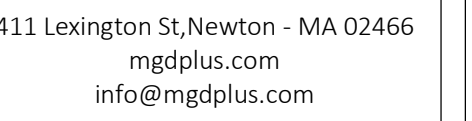
Date	9/18/22
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Drawn by	TCO
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Checked by	MGD
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SP.02

Scale	1" = 10'-0"
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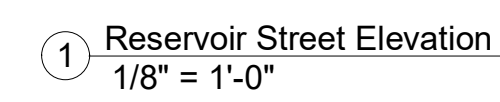
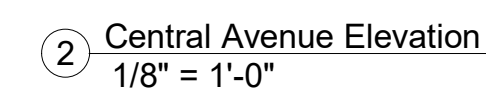
TAMP

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-50 Central Ave, Needham, MA

project number	22-007
date	9/18/22
drawn by	TCO
checked by	MGD

Scale	1/8" = 1'-0"
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411 Lexington St, Newton - MA 02466
mgdplus.com
info@mgdplus.com

STAMP

SPECIAL
PERMIT SET

[illegible]

CENTRAL AVE
DEVELOPMENT

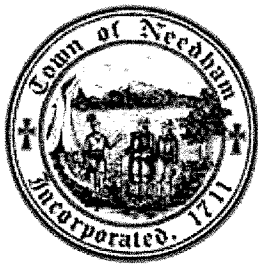
40-50 Central Ave, Needham, MA

3D VIEWS

Project number	22-007
Date	9/18/22
Drawn by	TCO
Checked by	MGD

SP.04

Scale



TOWN OF NEEDHAM

DESIGN REVIEW BOARD

Public Service Administration Building
500 Dedham Avenue
Needham, MA 02492
Application and Report

Property Location: 9B Street, Needham **Date:** 9/20/22

Owner: Coca Cola Beverages Northeast, Inc.

Address: 1 Executive Park Drive, Bedford, MA 03110
Street City State Zip
Telephone: 603-413-7623

Applicant: See above

Address: *Street City State Zip*
Telephone:

Designer/Installer: N/A

Address: *Street City State Zip*

Telephone:

Type of Application
☐ Sign
☐ Minor Project
☐ Exterior Alterations
☒ Major Project (Site Plan Review)
☒ - preliminary
☐ - final
☐ Flexible Subdivision
☐ Planned Residential Development
☐ Residential Compound

Brief description of sign or project:

See Exhibit A attached hereto.

Please email completed application to elitchman@needhamma.gov

EXHIBIT A

The applicant is proposing to renovate the existing building by removing the existing 14,500 s.f. office wing and incorporating those functions with the building, removal of 44,985 s.f. of the existing Fleet Services wing, associated storage and former railroad bay to be replaced by 14,610 s.f. attached new single story Fleet Services wing and addition of 14 loading docks. Interior renovations will include incorporation of a new automated product retrieval system and interior office fit up. Exterior façade improvement will incorporate a combination of reskinning of the building with an architectural metal panel system, painting and new signage.

Site improvements will provide for new parking lots at the west end of the site with new site lighting, landscaping, decorative fencing and hardscaping. Existing paved areas will be repaired, overlaid and improved as required. Existing outbuildings previously used for production wastewater processing will be removed.



Vanasse Hangen Brustlin, Inc.

101 Walnut Street
P. O. Box 9151
Watertown, MA 02471-9151
617 924 1770
FAX 617 924 2286

Memorandum

To: Evans Huber
Frieze Cramer Rosen & Huber, LLP
62 Walnut Street, Suite 6
Wellesley, MA 02481

Date: November 03, 2022

Project No.: 15571.02.00

From: Erik Bednarek, PLA

Re: Coca Cola
Plan Changes for Permitting Modification

The following is a list of changes to the Coca Cola Facility Permitting Plans of record made to date and presented to the Planning Board at the November 1, 2022, meeting.

1. 3rd Avenue plantings - Mulch and ornamental grasses have been added along the entire length of 3rd avenue, from the landscaped area at the corner of B Street to the facility entrance, in front of the fence
2. Fence – The 6' ornamental fence along 3rd Avenue has been revised to show black vinyl coated chain link (no barb wire). The ornamental fence along B Street will remain as proposed.
3. Kendrick/3rd Avenue corner - A mixture of deciduous and evergreen plants/groundcover ranging in height have been added to fill in the sloped landscape area at the corner of Kendrick Street and 3rd Avenue. Three Red Maples at 2-2 1/2" caliper and 6-7' tall Dark American Arborvitae and Eastern Red Cedar are proposed at the top of the slope.
4. Kendrick Avenue - Additional evergreens (6'-7' tall Dark American Arborvitae and Eastern Red Cedar) are proposed further west on Kendrick Avenue to include additional buffer to the truck parking lot.
5. Plant removal - unsightly understory/groundcover plantings along Kendrick and a few trees at the corner will be removed to create a cleaner and more attractive appearance.
6. Bio-infiltration #2 - A second bio-infiltration basin has been added at the south corner of the building within the parking lot including native grasses, shrubs and trees. Approximately six native shade trees are proposed along the edges of the basin. This basin will increase the proposed stormwater recharge volume by approximately 950 cubic feet.



Bottling Facility

9 B Street, Needham, MA

*Presented by
Applicant: Coca-Cola Beverages
Northeast, Inc
Consultants: Design Group
VHB*

November 1, 2022

Planning Board and Design Review Board Comments

- The Town would like to see the grass lawn within the large parking lot island replaced with plantings
- The Town would like the Project to provide additional infiltration
- Town would like to see additional landscaping to improve existing condition at Kendrick and 3rd Avenue corner
- Town would like additional landscaping along 3rd Avenue in the form of ornamental grasses
- Can the project include rooftop solar?

Enhanced Landscaping and Bio-infiltration

- Previous loam and seed "lawn" landscape island changed to a bioretention basin

PLANTING ENHANCEMENTS KEY:

10-RED MAPLE 'ARMSTRONG' - 2-2 1/2" CAL.

13-DARK AMERICA ARBORVITAE - 7-8' HT.

11-EASTERN RED CEDAR - 6-7' HT.

15-RED TWIG DOGWOOD - 3 GAL.

23-INKBERRY - 5 GAL.

66-SHENENDOAH SWITCH GRASS - 2 GAL.

55-MISC. SIN. FLAME GRASS - 2 GAL.

15-WINTERBERRY - 3 GAL.

40-CLETHERA, SWEET PEPPERBUSH - 3 GAL.

12-GRAY DOGWOOD - 5 GAL.

35-BEARBERRY- 1 GAL.

55-BAR HARBOR JUNIPER-2 GAL.

PROPOSED PLANT

EXISTING TREE/EVERGREEN



Increased infiltration

- The proposed Bioretention Basin will increase the proposed stormwater recharge volume by about 935 cubic feet



Increased Landscaping at Kendrick St & 3rd Ave Corner

PLANTING ENHANCEMENTS KEY:

10-RED MAPLE 'ARMSTRONG' - 2-2 1/2" CAL.

13-DARK AMERICA ARBORVITAE - 7-8' HT.

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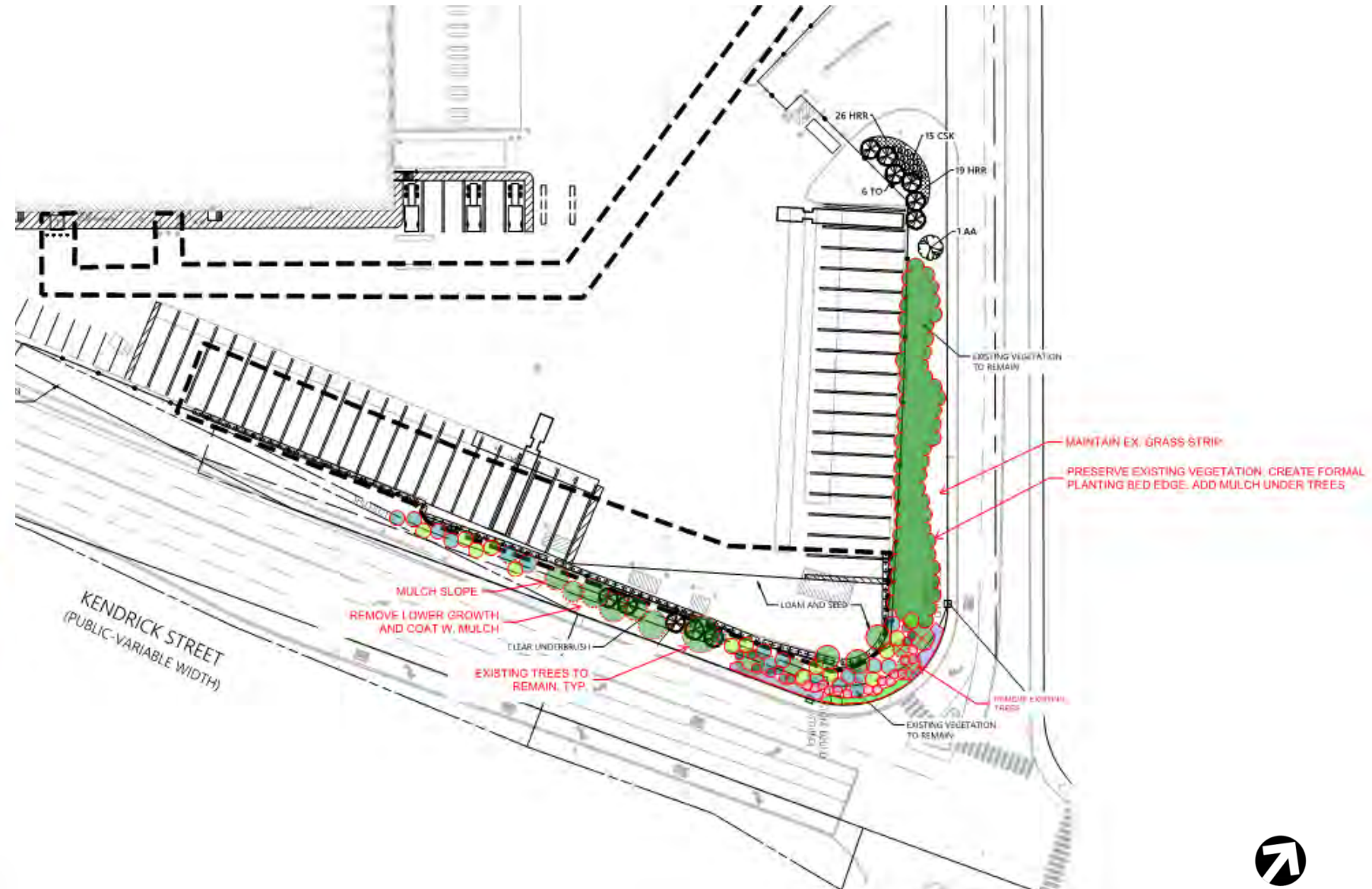
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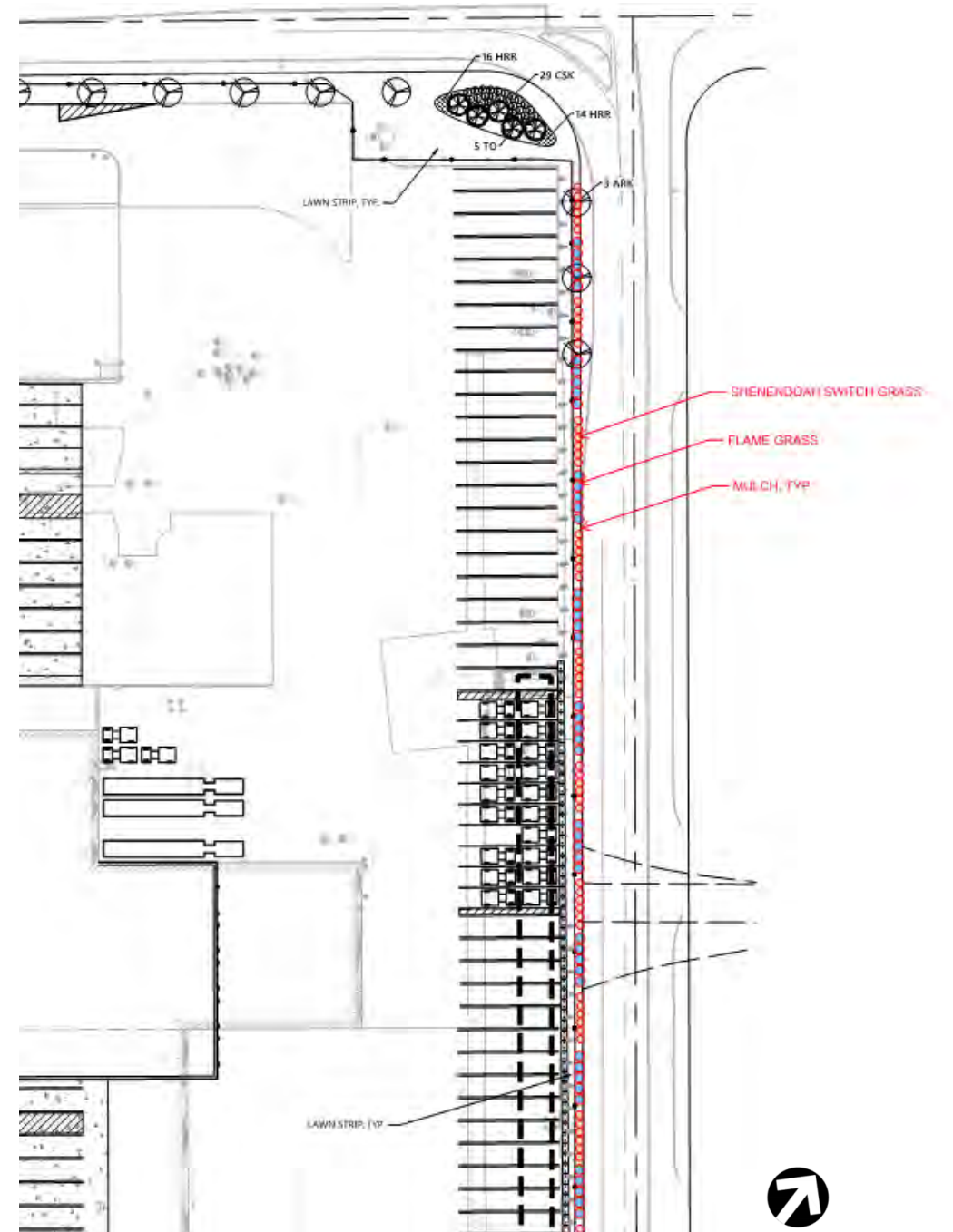
PROPOSED PLANT

EXISTING TREE/EVERGREEN



Increased Landscaping along 3rd Ave Frontage

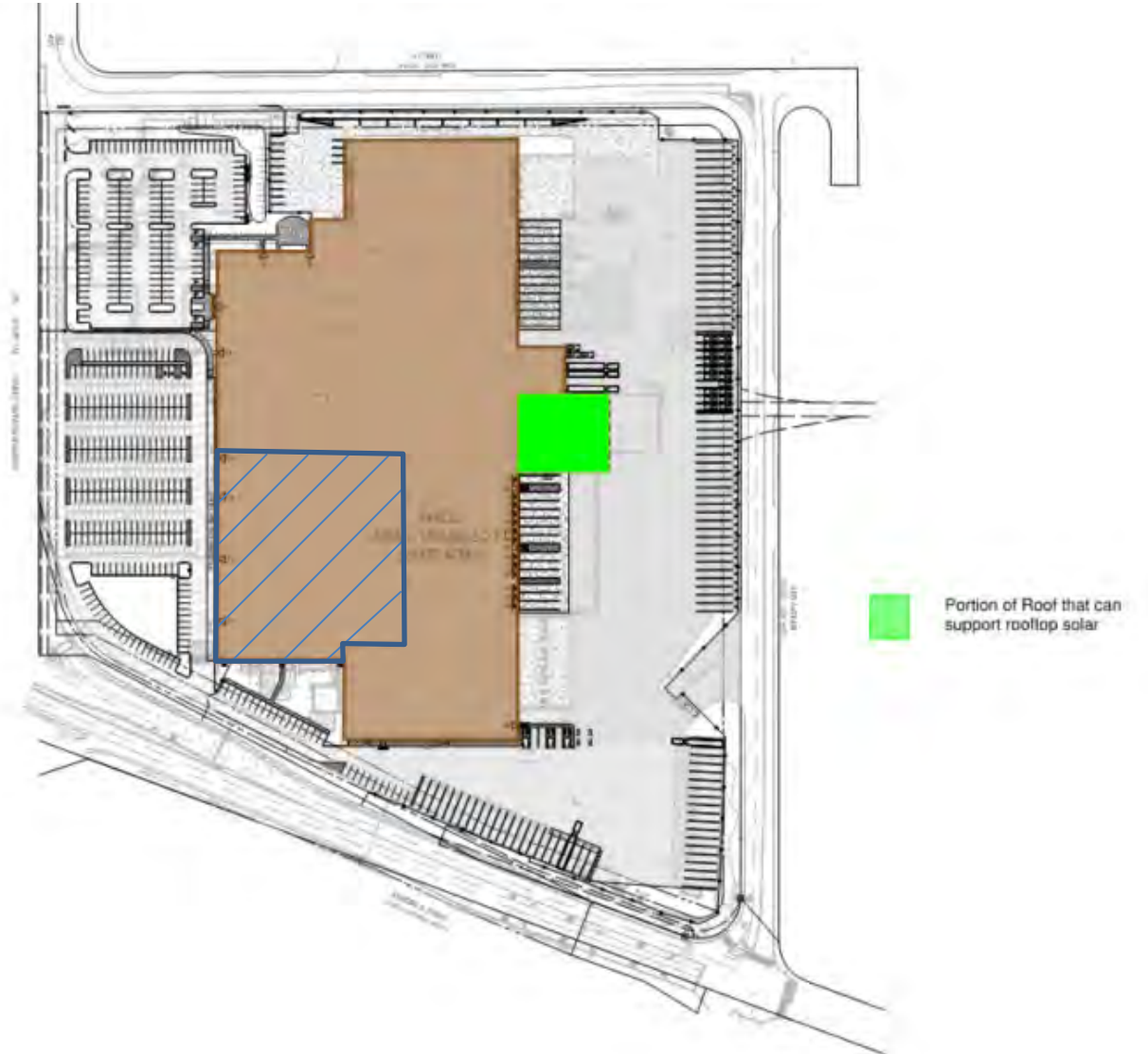
- Shenendoah switch grass, flame grass, and mulch added in front of fence along 3rd Ave frontage for increased screening
- Substitute black, vinyl coated chain link for previously proposed ornamental fence along 3rd Ave.





Potential Rooftop Solar

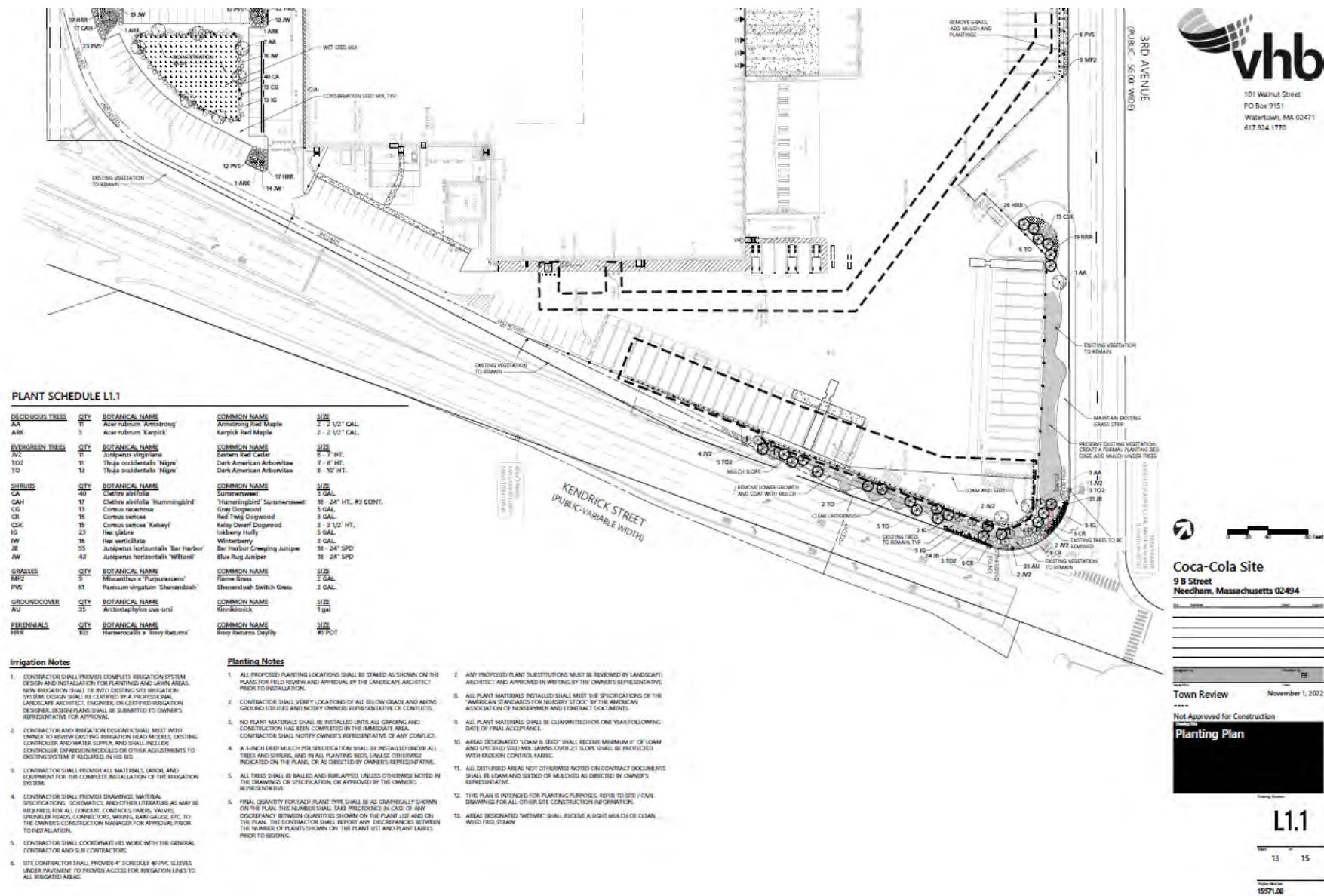
- Cannot put solar on existing roof.
 - Existing roofs designed in the 1950's.
 - Adding solar would require upgrades to:
 - Roof structural steel
 - Roof Insulation (tapered) and membrane
 - Secondary roof drains
 - 78ksf roof membrane replacement would be ~\$2.3MM to \$2.6MM cost in improvements.
- Could support solar on the new Fleet roof (~14.5ksf)
 - 8,000 sf available for solar, yields about 337 panels.
 - At 320w per panel, result is ~108kw array possible.
- Prefer not to make installation a condition of approval, but willing to design Fleet roof to accommodate future solar.



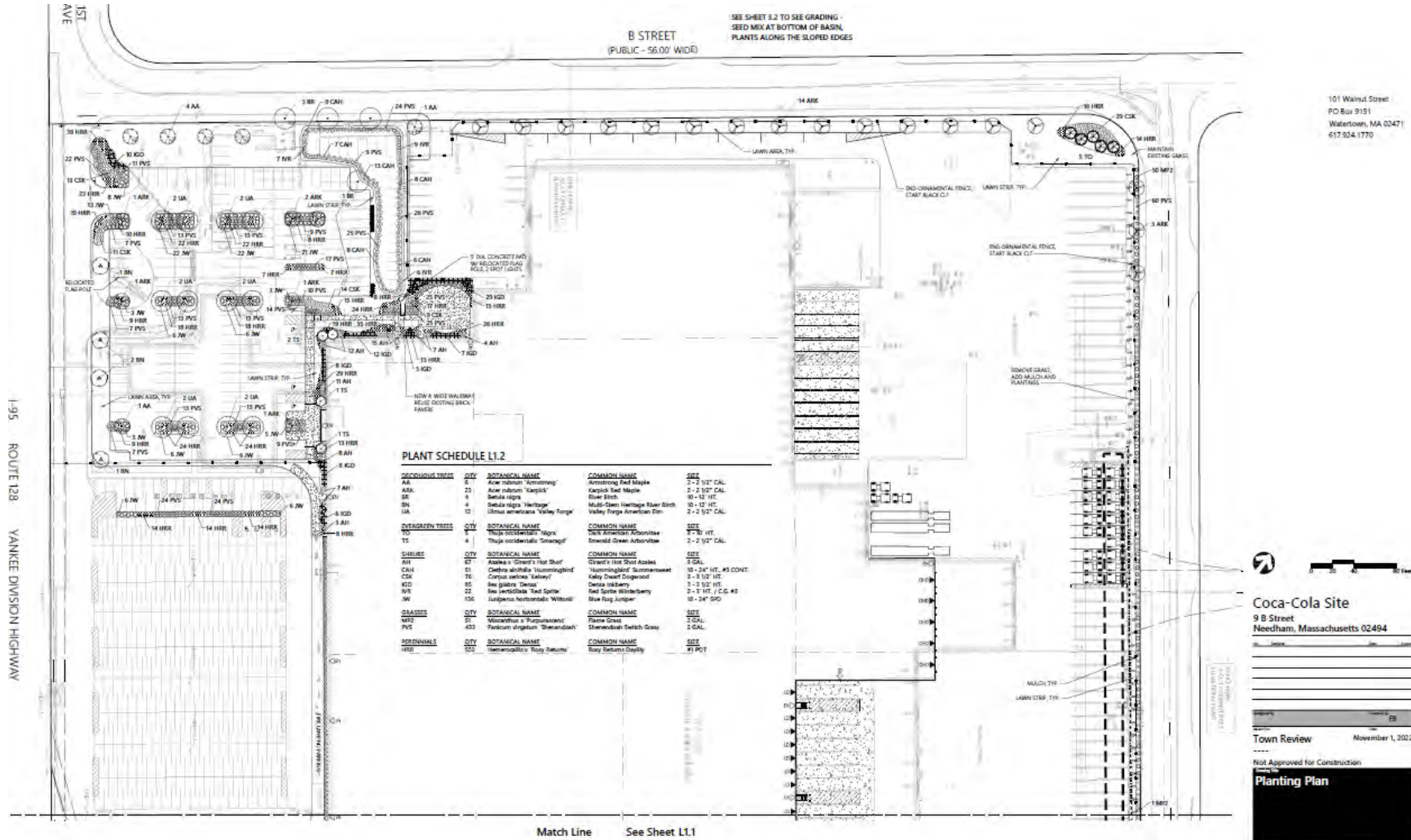
Thank You!



Updated Planting Plans – L1.1



Updated Planting Plans – L1.2



101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770

Coca-Cola Site
9 B Street
Needham, Massachusetts 02494

Town Review November 1, 2022

Not Approved for Construction

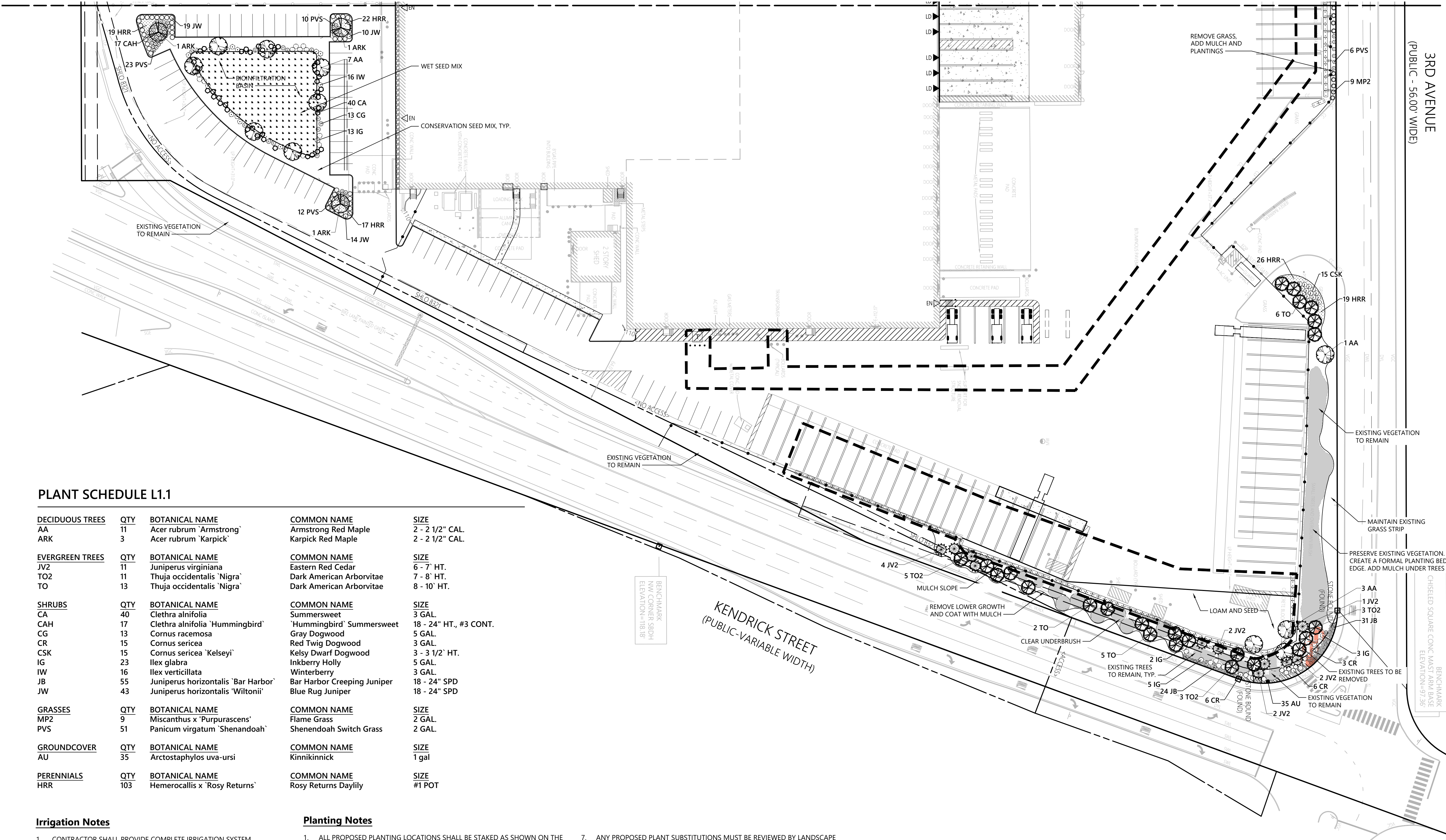
Planting Plan

L1.2



101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770

Match Line See Sheet L1.2



PLANT SCHEDULE L1.1

DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
AA	11	Acer rubrum 'Armstrong'	Armstrong Red Maple	2 - 2 1/2" CAL.
ARK	3	Acer rubrum 'Karpick'	Karpick Red Maple	2 - 2 1/2" CAL.
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
JV2	11	Juniperus virginiana	Eastern Red Cedar	6 - 7' HT.
TO2	11	Thuja occidentalis 'Nigra'	Dark American Arborvitae	7 - 8' HT.
TO	13	Thuja occidentalis 'Nigra'	Dark American Arborvitae	8 - 10' HT.
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
CA	40	Clethra alnifolia	Summersweet	3 GAL.
CAH	17	Clethra alnifolia 'Hummingbird'	'Hummingbird' Summersweet	18 - 24" HT., #3 CONT.
CG	13	Cornus racemosa	Gray Dogwood	5 GAL.
CR	15	Cornus sericea	Red Twig Dogwood	3 GAL.
CSK	15	Cornus sericea 'Kelsey'	Kelsy Dwarf Dogwood	3 - 3 1/2' HT.
IG	23	Ilex glabra	Inkberry Holly	5 GAL.
IV	16	Ilex verticillata	Winterberry	3 GAL.
JB	55	Juniperus horizontalis 'Bar Harbor'	Bar Harbor Creeping Juniper	18 - 24" SPD
JW	43	Juniperus horizontalis 'Wiltonii'	Blue Rug Juniper	18 - 24" SPD
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
MP2	9	Miscanthus x 'Purpurascens'	Flame Grass	2 GAL.
PVS	51	Panicum virgatum 'Shenandoah'	Shenendoah Switch Grass	2 GAL.
GROUND COVER	QTY	BOTANICAL NAME	COMMON NAME	SIZE
AU	35	Arctostaphylos uva-ursi	Kinnikinnick	1 gal
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
HRR	103	Hemerocallis x 'Rosy Returns'	Rosy Returns Daylily	#1 POT

Irrigation Notes

- CONTRACTOR SHALL PROVIDE COMPLETE IRRIGATION SYSTEM DESIGN AND INSTALLATION FOR PLANTINGS AND LAWN AREAS. NEW IRRIGATION SHALL TIE INTO EXISTING SITE IRRIGATION SYSTEM. DESIGN SHALL BE CERTIFIED BY A PROFESSIONAL LANDSCAPE ARCHITECT, ENGINEER, OR CERTIFIED IRRIGATION DESIGNER. DESIGN PLANS SHALL BE SUBMITTED TO OWNER'S REPRESENTATIVE FOR APPROVAL.
- CONTRACTOR AND IRRIGATION DESIGNER SHALL MEET WITH OWNER TO REVIEW EXISTING IRRIGATION HEAD MODELS, EXISTING CONTROLLER AND WATER SUPPLY, AND SHALL INCLUDE CONTROLLER EXPANSION MODULES OR OTHER ADJUSTMENTS TO EXISTING SYSTEM, IF REQUIRED, IN HIS BID.
- CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE INSTALLATION OF THE IRRIGATION SYSTEM.
- CONTRACTOR SHALL PROVIDE DRAWINGS, MATERIAL SPECIFICATIONS, SCHEMATICS, AND OTHER LITERATURE AS MAY BE REQUIRED, FOR ALL CONDUIT, CONTROLS, TIMERS, VALVES, SPRINKLER HEADS, CONNECTORS, WIRING, RAIN GAUGE, ETC. TO THE OWNER'S CONSTRUCTION MANAGER FOR APPROVAL PRIOR TO INSTALLATION.
- CONTRACTOR SHALL COORDINATE HIS WORK WITH THE GENERAL CONTRACTOR AND SUB CONTRACTORS.
- SITE CONTRACTOR SHALL PROVIDE 4" SCHEDULE 40 PVC SLEEVES UNDER PAVEMENT TO PROVIDE ACCESS FOR IRRIGATION LINES TO ALL IRRIGATED AREAS.

Planting Notes

- ALL PROPOSED PLANTING LOCATIONS SHALL BE STAKED AS SHOWN ON THE PLANS FOR FIELD REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL BELOW GRADE AND ABOVE GROUND UTILITIES AND NOTIFY OWNERS REPRESENTATIVE OF CONFLICTS.
- NO PLANT MATERIALS SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICT.
- A 3-INCH DEEP MULCH PER SPECIFICATION SHALL BE INSTALLED UNDER ALL TREES AND SHRUBS, AND IN ALL PLANTING BEDS, UNLESS OTHERWISE INDICATED ON THE PLANS, OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
- ALL TREES SHALL BE BALLED AND BURLAPPED, UNLESS OTHERWISE NOTED IN THE DRAWINGS OR SPECIFICATION, OR APPROVED BY THE OWNER'S REPRESENTATIVE.
- FINAL QUANTITY FOR EACH PLANT TYPE SHALL BE AS GRAPHICALLY SHOWN ON THE PLAN. THIS NUMBER SHALL TAKE PRECEDENCE IN CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND ON THE PLAN. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLANT LIST AND PLANT LABELS PRIOR TO BIDDING.
- ANY PROPOSED PLANT SUBSTITUTIONS MUST BE REVIEWED BY LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.
- ALL PLANT MATERIALS INSTALLED SHALL MEET THE SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND CONTRACT DOCUMENTS.
- ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE.
- AREAS DESIGNATED "LOAM & SEED" SHALL RECEIVE MINIMUM 6" OF LOAM AND SPECIFIED SEED MIX. LAWNS OVER 2:1 SLOPE SHALL BE PROTECTED WITH EROSION CONTROL FABRIC.
- ALL DISTURBED AREAS NOT OTHERWISE NOTED ON CONTRACT DOCUMENTS SHALL BE LOAM AND SEED OR MULCHED AS DIRECTED BY OWNER'S REPRESENTATIVE.
- THIS PLAN IS INTENDED FOR PLANTING PURPOSES. REFER TO SITE / CIVIL DRAWINGS FOR ALL OTHER SITE CONSTRUCTION INFORMATION.
- AREAS DESIGNATED "WETMIX" SHALL RECEIVE A LIGHT MULCH OF CLEAN, WEED FREE STRAW



0 20 40 80 Feet

Coca-Cola Site

9 B Street
Needham, Massachusetts 02494

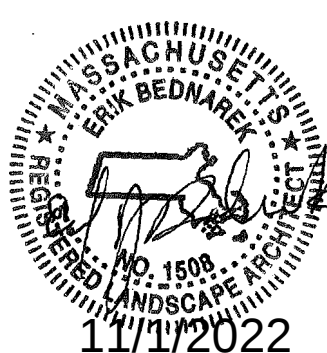
No.	Revision	Date	Appr'd.

Designed by	Checked by
	EB

Issued for
Town Review
November 1, 2022

Not Approved for Construction

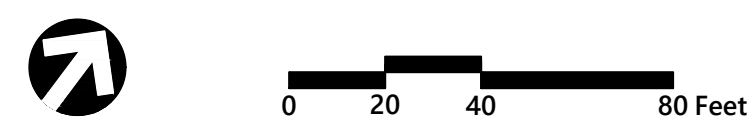
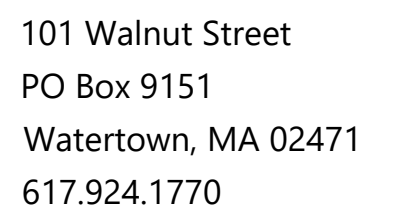
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Planting Plan
Drawing Number



L1.1

Sheet of
13 15

Project Number
15571.00



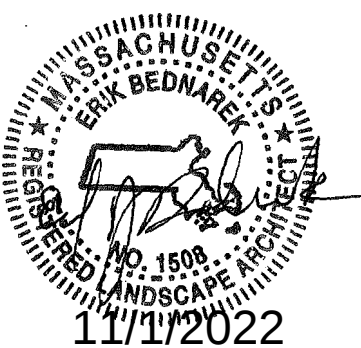
Coca-Cola Site
9 B Street
Needham, Massachusetts 02494

Designed by	Checked by EB
Issued for	Date
Town Review	November 1, 2022

Not Approved for Construction

Drawing Title

Planting Plan



L1.2

Sheet 14 of 15

Project Number
15571.02



Design Review Board Meeting Minutes
Monday, October 17, 2022
7:30 p.m.

Board Members:

Mark Gluesing, Board Chair (P)
Bob Dermody, Board Member (P)
Deborah Robinson, Board Member (P)
Susan Opton, Board Member (P)
Kristan Patenaude, DRB Recording Secretary (P)
Elisa Litchman, Administrative Specialist, Planning & Community Development (P)

Applicants & Attendees:

1. Chuck Bromley, Plan B Retail – Special Permit request for Roche Bros. located at 377 Chestnut Street
2. Continued: Rick DeAngelis, Boston Properties located at 140 Kendrick Street and applying for site plan review of a solar garage roof with supplemental information.
 - Ben Myers, Boston Properties
 - Jonathan Abe, Sunwealth Power
 - Marcel Rodgers, Sunwealth Power
3. Gunnar MacCormick, Agnoli Sign Co., Inc. representing Supply New England located at 151 Reservoir Street and applying for signage.
4. Evans Huber, attorney with Frieze Cramer Rosen & Huber, LLP representing Coca-Cola located at 9 B Street and applying for site plan review.
 - Matt Labonte, Design Group
 - Mark Nogueira, Design Group
 - Caitlin Glass, VHB
 - Erik Bednarek, landscape architect

Chair Gluesing called the meeting to order on October 17, 2022, at 7:30 p.m.

Chair Gluesing notified attendees of new public meeting orders issued by the governor of Massachusetts.

Agenda Item 1:

Public notice is hereby given that Roche Bros. located at 377 Chestnut Street, has made application to the Design Review Board for a Special Permit pursuant to the Sign By-Law Section 5.5.3.1 a) (More than one permanent attached wall signs) and Section 5.5.4 (Signs exceeding 32 Sq. Ft. in a Business District) any other applicable sections of the By-law.

Chuck Bromley explained that the proposal has been amended to incorporate a number of changes. The main building sign on the façade, Sign A, was originally submitted as 71.25 s.f. This has now been reduced to a size of 57.8 s.f., centered into the façade panel, as suggested by

the Board. Sign B was originally submitted as 17.5 s.f.; this has been reduced from a 14" letter text to a 12", bringing it down to 12.1 s.f. The redemption sign on the side of the building was originally proposed to be 13.42 s.f. This has also been reduced from 14" to 12" text, reducing the sign down to 9.1 s.f. The Board previously seemed agreeable to the 64 s.f. stencil-type text painted on the brick at the far-right side of the store. An originally proposed additional stencil-type text on the side of the building has been eliminated from the plan. There has been one addition to the plan, the addition of the number 377 in glazing right above the front entrance door.

Chair Gluesing noted that the number was proposed to be added in that location instead of on the canopy with the Chestnut Street wording because they are branding the store with an additional Roche Bros. building in another part of Town.

In response to a question from Ms. Robinson regarding the joints on the background of Sign A, Mr. Bromley explained that this will be a limestone veneer panel. The color will be contrasting with the brick facade. The joints in the limestone will be the same color as the limestone. Regarding Sign D1, Mr. Bromley explained that the black line work is proposed to be painted with stencil-type text. This was intentionally set off-center, to work with a weather canopy which extends 6" into the brick.

Board members voiced their agreement that sign D1 should be centered.

In response to a question from Mr. Dermody, Mr. Bromley stated that the Roche Bros. sign and the logo over the main door are internally illuminated. All other signs are not illuminated.

In response to a question from Mr. Dermody, Mr. Bromley stated that the limestone panel will have a setback with a 2"-3" reveal.

Upon motion duly made by Mr. Dermody and seconded by Ms. Robinson, it was voted to approve all of the proposed signs, with the condition that Sign D1 be centered on the brick façade. Susan Opton – aye; Deborah Robinson – aye; Bob Dermody – aye; and Chair Gluesing – aye. Motion passed 4-0.

Agenda Item 2:

Continued: Rick DeAngelis, Boston Properties located at 140 Kendrick Street and applying for site plan review of a solar garage roof with supplemental information.

Chair Gluesing noted that Bob Dermody would Chair this item, as he was not present at the last meeting where this item was initially discussed.

Marcel Rodgers showed the Board renderings from up the hill on Kendrick Street, and from the ground to show the electrical equipment. He showed that there was a large amount of existing trees and vegetation concealing the garage. This continues to be the case travelling further east on Kendrick Street. On the ground floor just outside the garage structure there are three parking spaces in which electrical equipment will be placed that will supply the energy storage components of the project, as well as the main inverter and connections to the transformer. This

will be surrounded by bollards to protect the equipment. The Board previously requested a lighting plan, which has been submitted. This shows 35 light fixtures, to be high efficiency LED lights, which have a lifespan of approximately 100,000 hours. If run for 10 hours a day, this will yield a lifespan of approximately 27 years. These are proposed to have a low profile and be flush mounted to the underside of the rails on the canopy structure.

Mr. Dermody stated that the energy storage facilities seem to be tucked away and placed in the best location for the purpose they serve. The proposed lighting looks appropriate.

In response to a question from Mr. Dermody, Mr. Rodgers explained that all of the existing lighting on the top deck of the structure will be removed and replaced by the lighting proposed under the canopy structure. This will recreate the existing amount of watts of lumens and coverage.

In response to a question from Ms. Robinson regarding glare issues, Mr. Myers stated that the solar panels are designed to maximize the absorption of light. His company has found zero glare issues in the 13 solar projects it has completed, three of which were garage canopies.

In response to a question from Ms. Robinson regarding enclosing the battery containers in the parking lot, Mr. Rodgers explained that a certain amount of clearance around the components is required for the purposes of servicing the equipment. This dictates how closely they can be spaced. There was an attempt to minimize the footprint to the greatest extent possible and maintain it within these three parking spaces. Adding something to the front of this area could impede on the drive aisle, potentially making it harder to access the storage. The applicant is comfortable with the proposed aesthetics, as battery storage is something it wants to highlight. Part of the mission of this project is to complete a NetZero project.

Mr. Dermody asked about placing some fencing along the south side of this area, near a fourth parking space. Mr. DeAngelis explained that this could result in the loss of a fourth parking space, which would need to be made up elsewhere on site. The Board discussed other possible screening approaches. The applicant wants to highlight the solar strategy and is comfortable with this approach. The DRB concurred.

Chair Gluesing explained that, as the applicant is currently in a site plan review process with the Planning Board, the Design Review Board will draft a memo for the Planning Board. It will record the discussion regarding different options for screening of the battery containers.

Agenda Item 3:

Gunnar MacCormick, Agnoli Sign Co., Inc. attended the meeting and explained that the proposal is for a non-illuminated aluminum belt sign, 42"x 96". This is proposed to be located on the wall of the building at 151 Reservoir Street.

In response to a question from Ms. Robinson, Mr. MacCormick stated that the letters are proposed to be flat vinyl on an aluminum back, with aluminum molding around it.

Board members expressed interest in seeing the location of this sign proposed over the entry door of the building instead.

In response to a question from Mr. Dermody, Mr. MacCormick stated that the color of the letters has not yet been finalized but will be kept as close to the rendering as possible.

In response to a question from Mr. Dermody, Chair Gluesing stated that he is okay with the proposed tag line on the sign, as this is a private area, but he would prefer to see the sign placed over the main door at the same proposed mounting height.

Upon motion duly made by Mr. Dermody and seconded by Ms. Robinson, it was voted to approve the sign with the condition that it be relocated and centered over the entrance door. Susan Opton – aye; Deborah Robinson – aye; Bob Dermody – aye; and Chair Gluesing -aye. Motion passed 4-0.

Agenda Item 4:

Evans Huber, attorney with Frieze Cramer Rosen & Huber, LLP representing Coca-Cola located at 9 B Street and applying for site plan review.

Mr. Huber stated that this project is a major upgrade of the site, including reducing the building footprint, increasing the parking, upgrading the façade, redesigning interior portions of the building, and increasing the open space and landscaping.

Mark Nogueira explained that this location is highly focused on distribution. This project is a 40-year investment in the site, primarily to modernize operations.

Caitlin Glass explained that the existing site is largely covered by pavement, concrete and building areas. There are a number of loading docks and truck parking spaces, particularly located along the Third Avenue side of the site. There is an existing employee entrance off B Street. The frontage on B Street is mostly a grassed area with a chain link fence. The project proposes to improve the landscaping along the employee access area and also install decorative fencing along B Street. There is a grass landscape area with a chain link fence along Third Avenue, along with truck parking and an existing guardrail. Similar to B Street, the project is proposing to install decorative fence along Third Avenue. At the existing corner of Kendrick Street and Third Avenue, the project is proposing to reclaim a portion of pavement and turn it into a landscaped area. The project is proposing to remove portions of the building, introduce new landscaped areas, and reduce the total amount of impervious area on the site. The reworked employee entrance will include new landscaped islands and a bioretention basin.

Erik Bednarik stated that there are currently no parking lot islands with trees, shrubs, or ground cover. This project is a nice opportunity to allow for those items, along with an enhanced entrance at the northwest corner of the building, with an entrance patio, and bio-infiltration area. The majority of the proposed plant list is native, with a few plants proposed to enhance the brand identity of Coca Cola. Along B Street, the proposal includes a line of street trees.

Matt Labonte stated that the existing fleet service area is proposed to be demolished, along with two small outbuildings. A front office, one-story section of the building will be removed. The existing fleet service area is proposed to be replaced with a 14,000 s.f. single-story building. This will be modernized and more applicable to the business' required functions. Some of the building will be reskinned, and anything that is not will be color matched and coordinated with the new materials. Approximately two thirds of the existing mechanical equipment on the roof will be removed, as it is nonfunctional and antiquated. This is proposed to be replaced with minimal additional equipment. A dark, monolithic benchmark-type panel is proposed as an accent to the building. The remaining metal panel is proposed to be insulated, and two toned, with the 'Coca Cola red' color running horizontally to continue the brand identity. The new sign proposed is a lighthouse, which is part of Coca Cola's brand image. In the southern corner of the building, an accent is proposed to be made up of two different types of metal panels to mimic panels on the other elevation of the building. All of the glazing on the building will be replaced, and some will be added in the office area. The current proposal includes reworking all of the lighting on the front side of the building, as it faces Route 128. This will fully comply with the Town's requirements for lighting, including keeping the poles at 20', Dark Sky compliance, and no spillovers over the property line.

In response to a question from Chair Gluesing, Mr. Nogueira stated that there is no change proposed for the truck entrance. Currently, trucks primarily turn into the facility from Kendrick Street and Third Avenue.

In response to a question from Chair Gluesing regarding lighting on the truck bay side of the building, Mr. Nogueira stated that no changes are proposed to the orientation or the flow of the truck court. The lighting in that area was revamped to LED lights within the last two years.

In response to a question from Ms. Opton, Mr. Nogueira stated that trailers coming onto the property are of a variety of sizes between 35' and 53', mostly in the 45' to 48' range.

In response to a question from Ms. Opton, Ms. Glass stated that an 8' decorative fence is proposed along Third Avenue and a portion of B Street.

Ms. Opton noted that some of the existing shrubbery screening in one corner of the site is not particularly attractive, and she is unclear if the proposal will add to this. Erik Bednarek stated that the intention is to tuck evergreens into any open areas and trim out unsightly/dead material.

Ms. Opton suggested planting a type of grass that does not require regular mowing or watering. Maintenance may be an issue with the turf grass proposed along the site edges that have not been well maintained in the past and it may not last very long. In response to the branding with red for Coca-Cola a maintenance plan will be a key issue as some of the plants will not maintain their red color unless they are cut down every two or three years. New growth is what appears red.

In response to a question from Mr. Dermody regarding existing large concrete blocks at the corner of Kendrick Street and Third Avenue, Mr. Labonte stated that these will be removed.

Mr. Dermody noted that the roof might be a good place for a solar array, once all of the old equipment has been removed.

In response to a question from Mr. Dermody, Ms. Glass stated that a bioretention system is proposed in an L-shaped area of site, and the applicant is considering a retention area in the triangle-shaped landscape area. The Planning Board asked the applicant to examine other areas where infiltration could be provided.

Mr. Dermody suggested that the applicant discuss potential improvements to the Kendrick Street and Third Avenue corner with the Planning Board.

In response to a question from Ms. Robinson, Ms. Glass explained that an existing shed, and other outbuilding structure are proposed to be removed and replaced with parking and a sidewalk.

In response to a question from Ms. Robinson, Mr. Nogueira stated that the door south of the main entrance will primarily be used by warehouse and office workers. There is a second entrance for truck drivers along with other office staff. The door under the Coca Cola sign will be the main public and visitor entrance.

Chair Gluesing noted that applicants are typically required to complete a façade review for a commercial building such as this. The Board would need more information on proposed materials, color samples, an enlargement of the long elevations, etc. He would prefer the applicant to come back to examine this architecture further. Mr. Huber noted that the applicant will be before the Planning Board for site plan review on November 1st and will have to come back before the Design Review Board for sign permits.

Mr. Dermody stated that he would also like to see cut sheets and specs for the panels. He would like to know dimensions, support, and drainage for the canopy over the front door.

Chair Gluesing asked if there is any reason the applicant is not proposing to extend the landscaped islands further south into the other parking area on the west side. Ms. Glass noted that the existing parking area is being restriped only.

Chair Gluesing stated that he would like to see the corner of Third Avenue planted a bit more extensively, and maybe even up closer to the truck entrance. The proposed planting bed along Third Avenue could be widened enough to support a tree every 30' or something similar.

Mr. Huber explained that the applicant will be coming back before the Board for two sign permits. The Coca Cola sign is proposed to be approximately the same size as the existing sign, which is substantially larger than what is allowed by right. The second sign permit request will be for the lighthouse logo sign. He asked for the Board's informal comments on these items. Mr. Nogueira stated that the main entry sign is approximately 200 s.f. The lighthouse is approximately 250 s.f. The existing Coca Cola sign is approximately 450 s.f. The proposal is for approximately 100 s.f. less signage than currently on the building.

Chair Gluesing stated that he believes the lighthouse sign, if slightly smaller, would be more easily categorized as a graphic element. He believes the Coca Cola sign fits the façade.

Mr. Dermody stated that he would like to see a close up drawing of the Coca Cola sign to get an idea of the negative space around it. He would also like more information on the dimensions. He would like to see a close up of the lighthouse sign, as it appears to be floating,

Chair Gluesing stated that the Board will prepare a memo for the Planning Board to review prior to its November 1st meeting.

Minutes:

None to review at this time.

Chair Gluesing stated that, unfortunately, Steve Tanner has resigned from the Board. Chad Reilly has decided to take a 3-month sabbatical and sign into Board meetings as needed.

Upon motion duly made by Mr. Dermody and seconded by Ms. Opton, it was voted to adjourn at 9:43 p.m. Susan Opton – aye; Deborah Robinson – aye; Bob Dermody – aye; and Chair Gluesing – aye. Motion passed 4-0.

Next Public Meeting – November 7, 2022 at 7:30pm via Zoom Webinar